

Borough Council of  
**King's Lynn &  
West Norfolk**



**Planning Committee**  
**Monday, 7th November, 2022 at 9.30 am**  
**in the Assembly Room, Town Hall, Saturday Market**  
**Place, King's Lynn PE30 5DQ**

**Reports marked to follow on the Agenda and/or Supplementary Documents**

Presentation (Pages 2 - 189)

**Contact**

Democratic Services  
Borough Council of King's Lynn and West Norfolk  
King's Court  
Chapel Street  
King's Lynn  
Norfolk  
PE30 1EX  
Tel: 01553 616394  
Email: [democratic.services@west-norfolk.gov.uk](mailto:democratic.services@west-norfolk.gov.uk)

# Planning Committee

## 7 November 2022

Agenda Item 9a

2

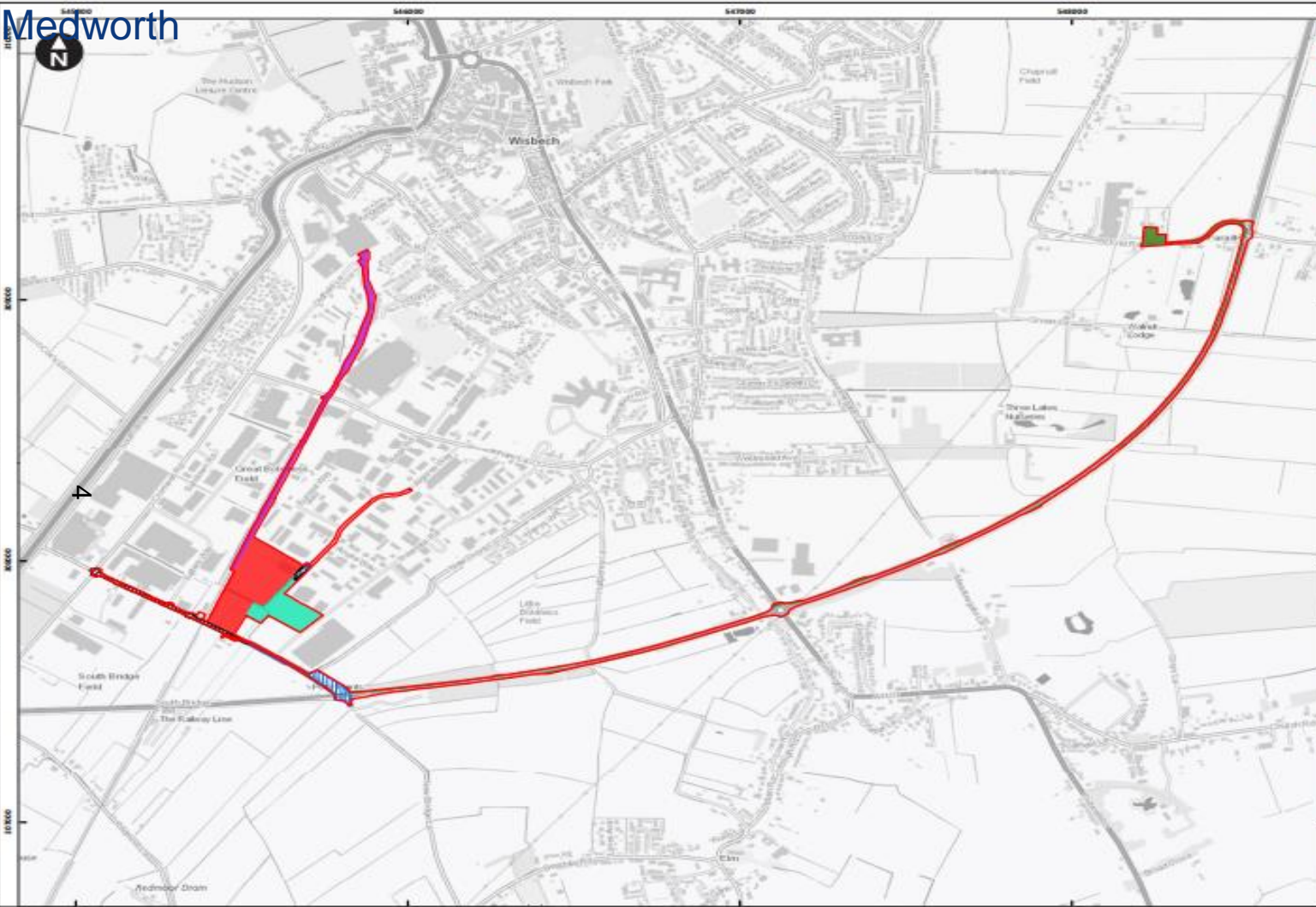


3

# Medworth

## Relevant Representations - Consultation





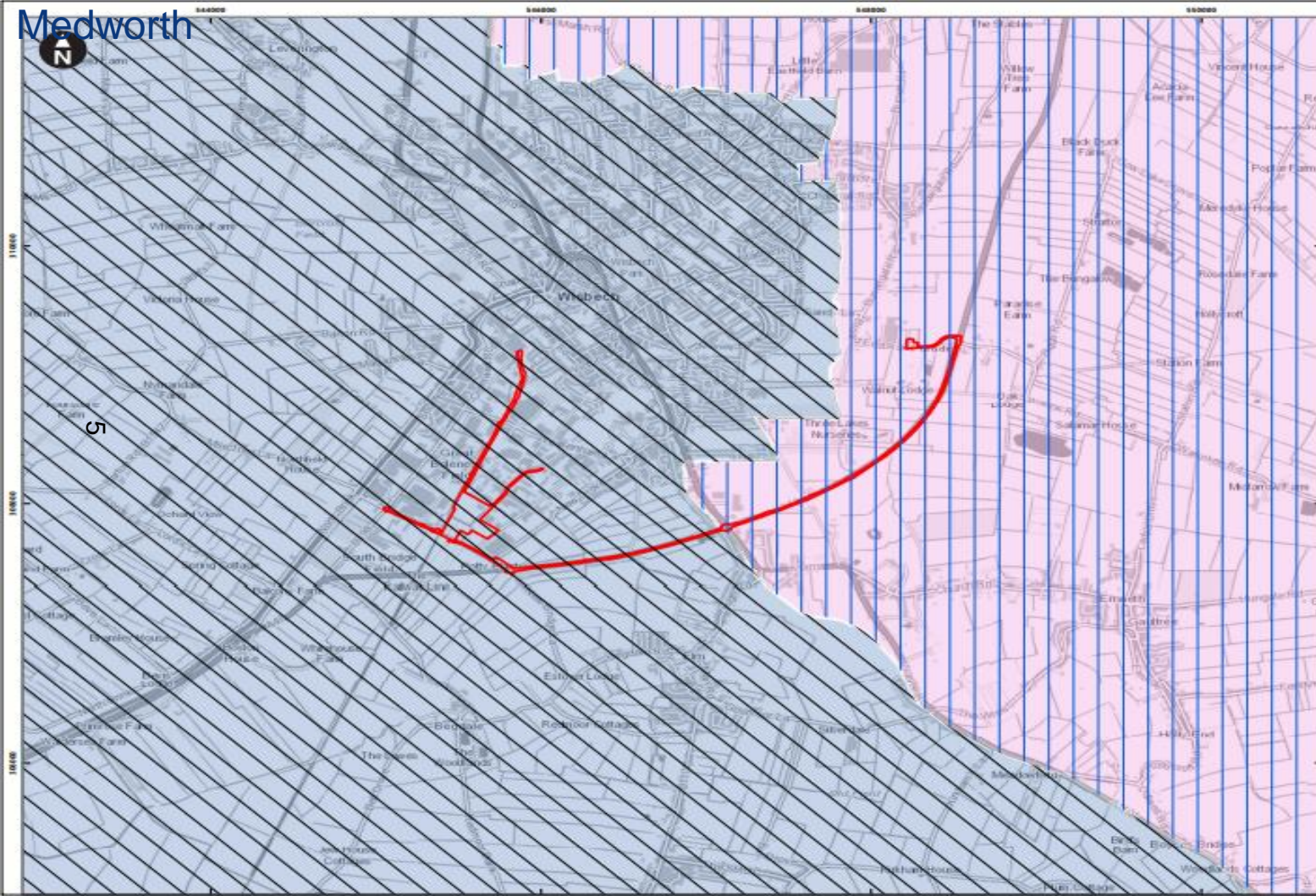
- Project Limits
- EW CHP Facility Site
- CHP Connection
- Temporary Construction Compound
- Grid Connection
- Access Improvements
- Water Connections



Scale at A1: 1:10,000  
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Medworth CHP Limited  
Medworth Energy from Waste Combined Heat and Power Facility  
Environmental Statement  
Chapter 3 – Description of the Proposed Development  
**Figure 3.25**  
**Project Components**



Key


- Local Limits
- Cambridgehire County Council
- Norfolk County Council
- Fenland District
- King's Lynn and West Norfolk District

0 500 1000 1500 m

Scale at A3: 1:25,000


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Client:



Medworth CHP Limited  
 Medworth Energy from Waste Combined Heat and Power Facility DCO  
 Environmental Statement  
 Chapter 3 Description of the Proposed Development  
**Figure 3.1**  
**Local Authority Boundaries**

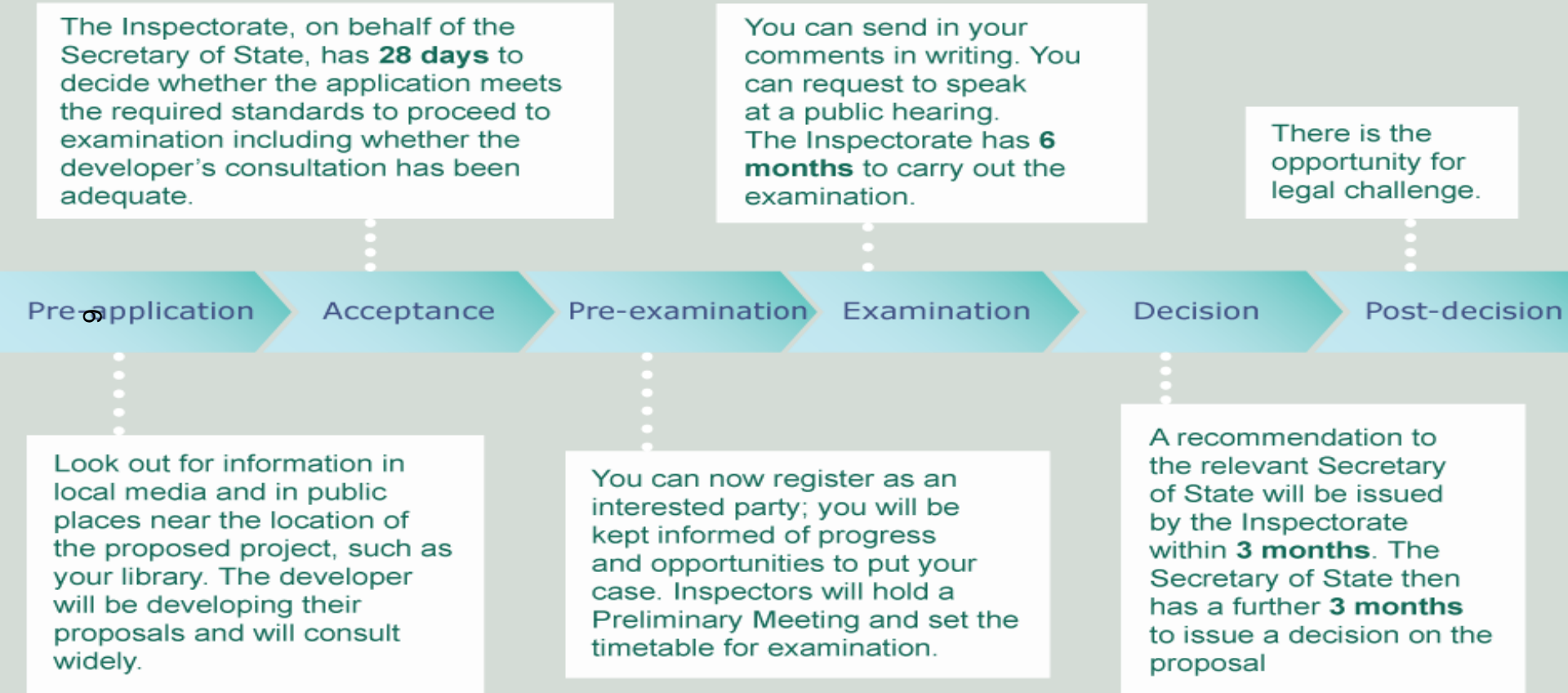
June 2022



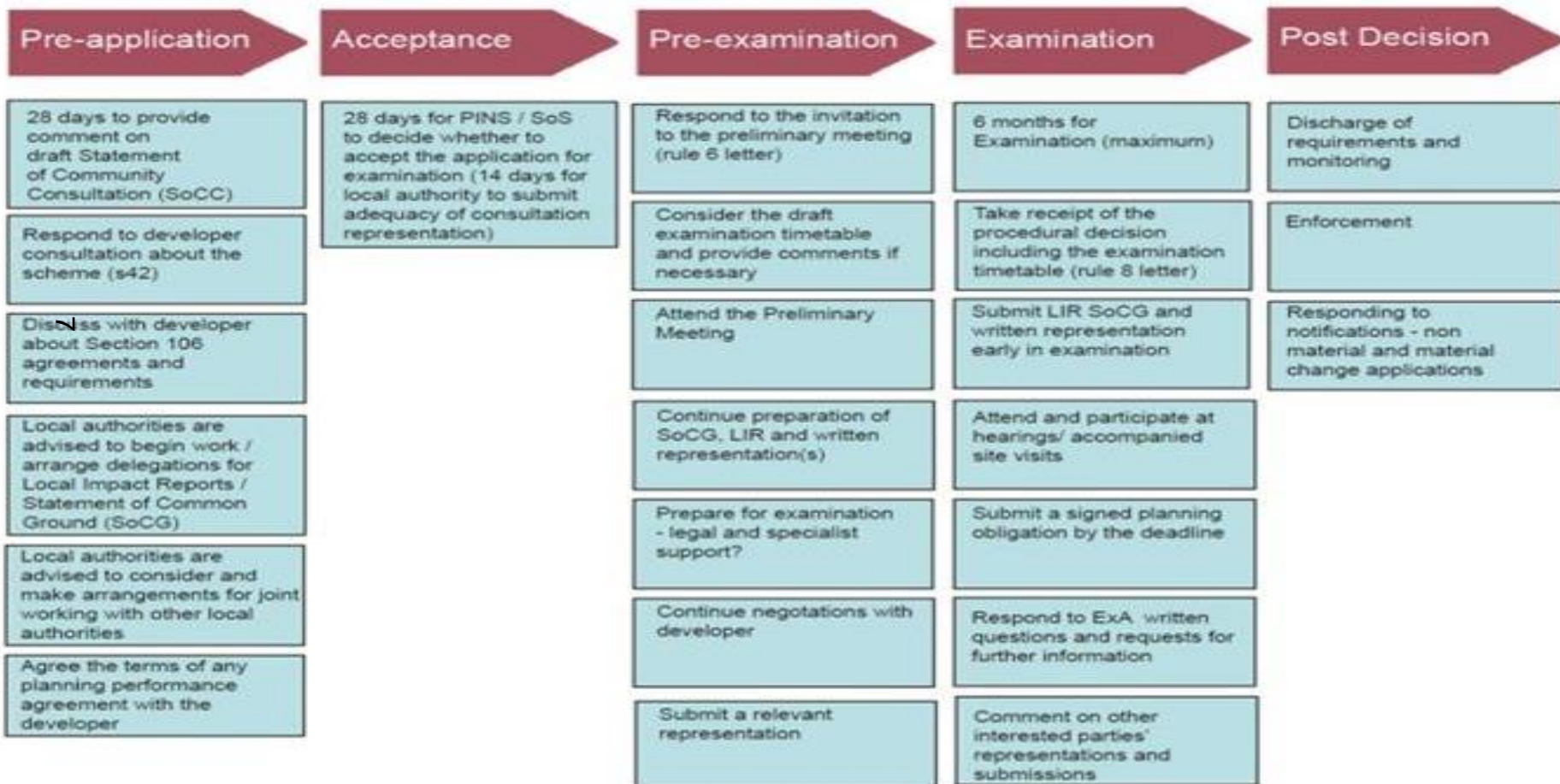
41310-Shr452\_v2

# The application process.

## The six steps



# The role of local authorities



22/00704/FM

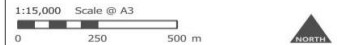
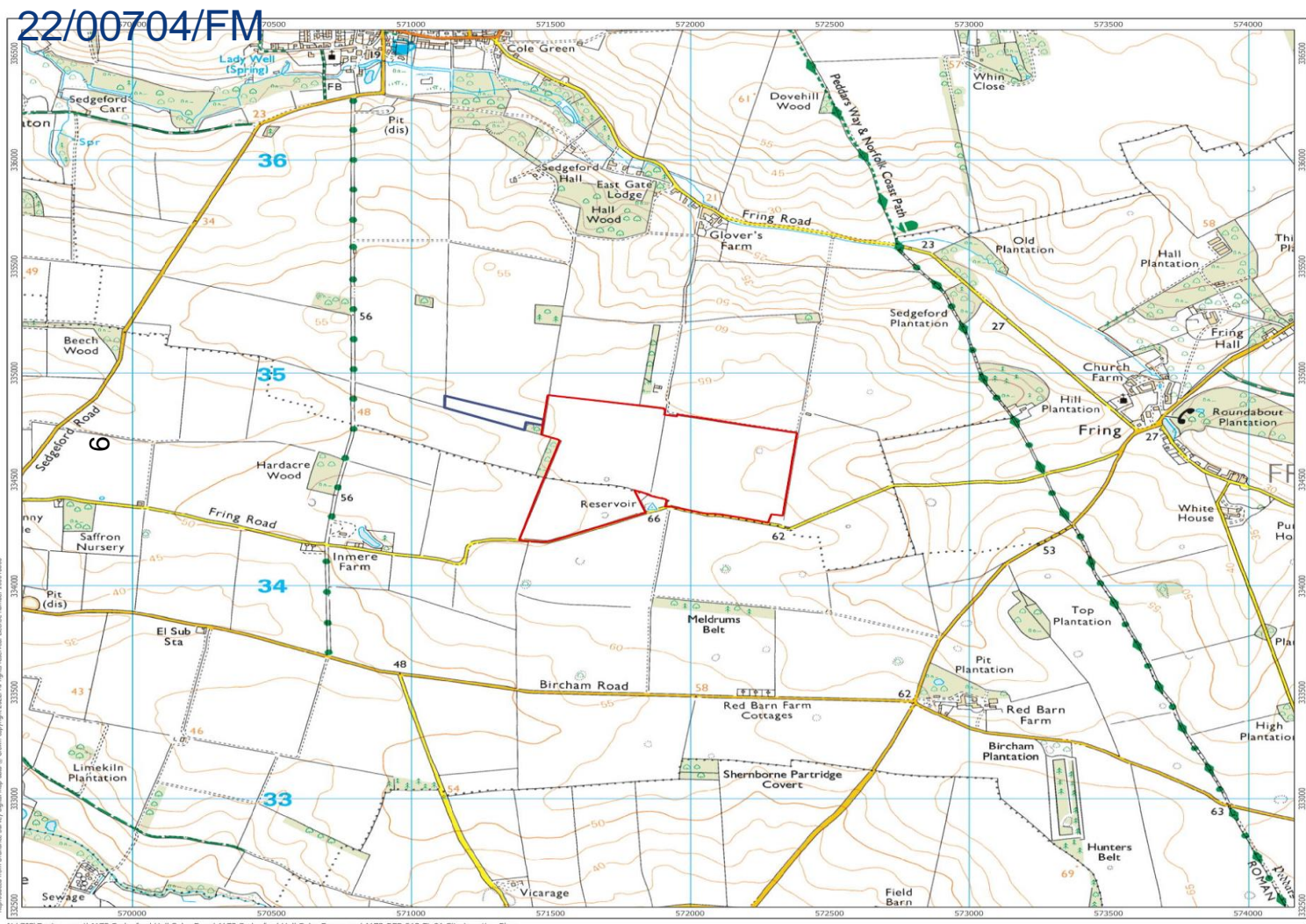
8







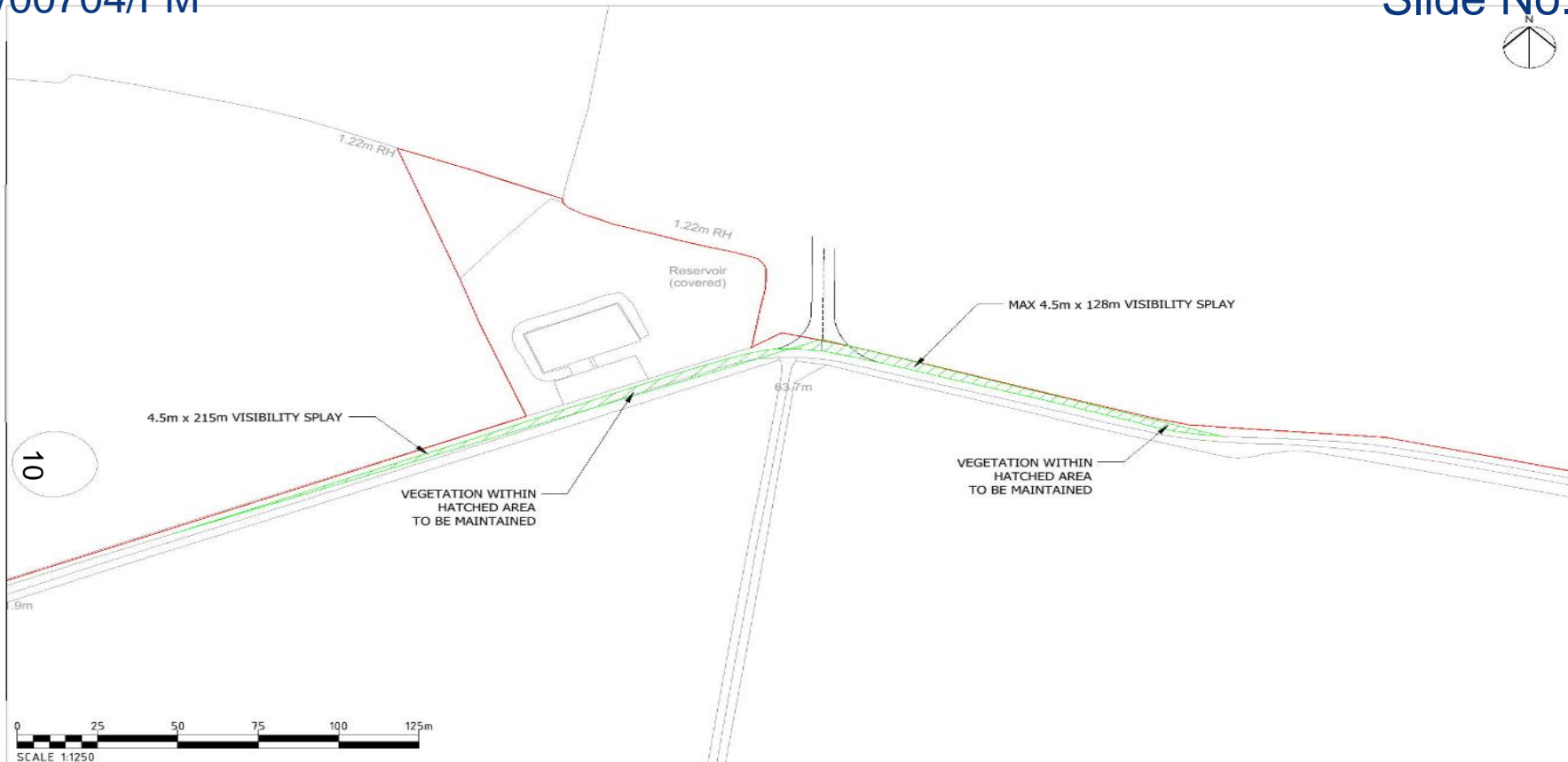
- Planning Boundary
- Land Under Applicants Control



Produced By: EB	Ref: 4173-REP-012
Checked By: SC	Date: 21/01/2022

**Site Location Plan**  
Figure 1

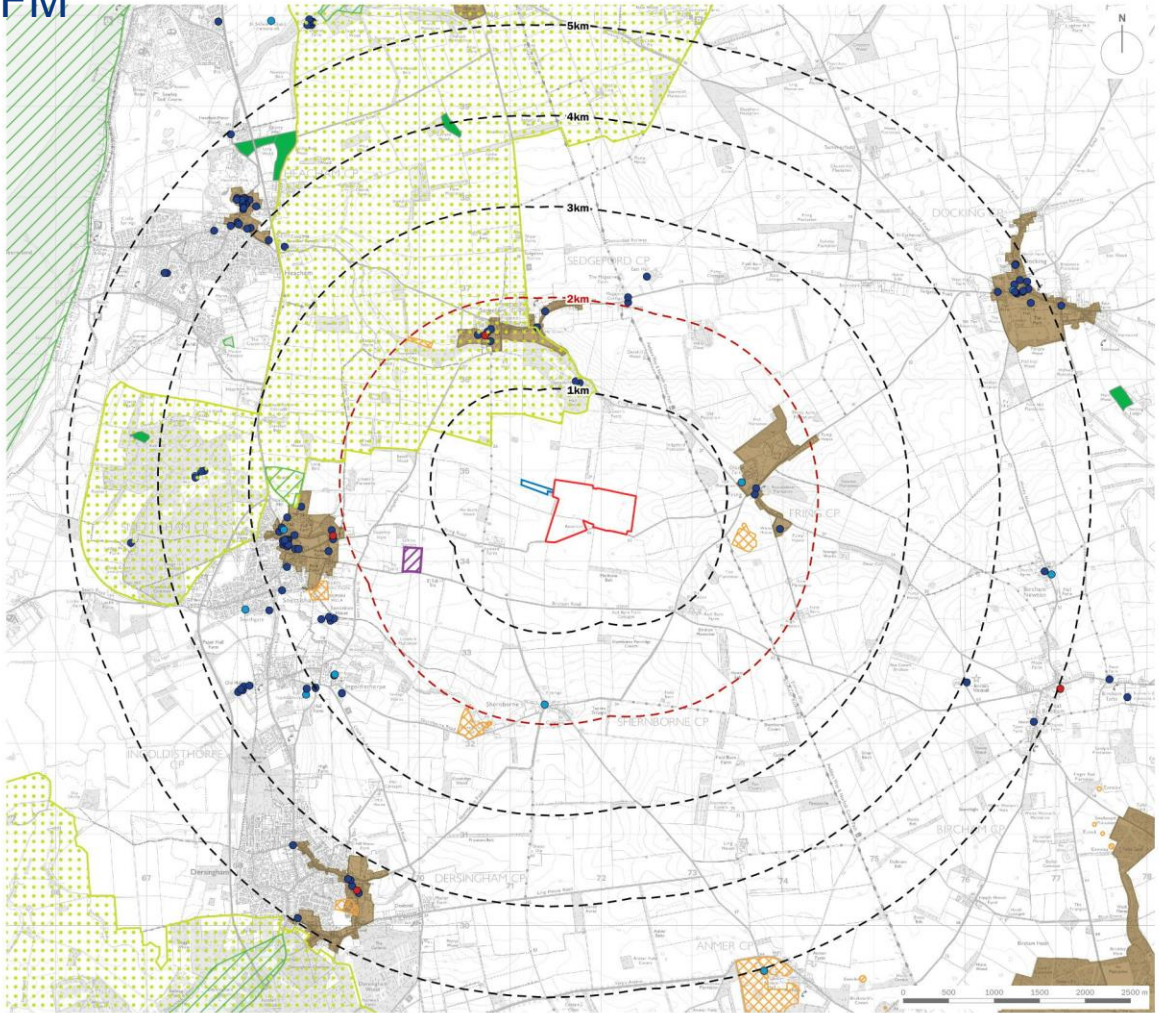
**Sedgeford Hall Solar Farm  
Planning, Design and Access  
Statement**



Project Title <b>SEDFORD HALL SOLAR FARM</b>		Drawing Title <b>SITE ENTRANCE JUNCTION ALTERNATIVE LOCATION VISIBILITY SPLAY ASSESSMENT</b>		Purpose of Issue <b>FOR INFORMATION</b>		THIS DOCUMENT HAS BEEN PREPARED IN ACCORDANCE WITH THE SCOPE OF ARCUS APPOINTMENT WITH ITS CLIENT AND IS SUBJECT TO THE TERMS OF THAT APPOINTMENT. ARCUS ACCEPTS NO LIABILITY FOR ANY USE OF THIS DOCUMENT OTHER THAN BY ITS CLIENT AND ONLY FOR THE PURPOSES FOR WHICH IT WAS PREPARED AND PROVIDED		Arcus Consultancy Services 7th Floor 144 West George Street Glasgow, G2 2HG Tel: +44 (0)141 221 9997 Fax: +44 (0)141 221 5610 <a href="http://www.arcusconsulting.co.uk">www.arcusconsulting.co.uk</a>	
Client <b>REGENER8POWER</b>		Designed KB	Drawn KB	Checked FO	Approved TAT	Date 28/04/21		Drawing Number <b>4173_DR_P_0001</b>	Rev -
		Arcus Internal Project No. 4173		Scale @ A3 1:1250					



11



- Site Boundary
- Land Under Applicants Control
- Range Rings (at 1km intervals)
- 2km Detailed Study Area
- Landscape**
- Norfolk Coast AONB
- Ecology**
- Ancient Woodland
- Sites of Special Scientific Interest (SSSI)
- Heritage**
- Grade I Listed Building
- Grade II\* Listed Building
- Grade II Listed Building
- Scheduled Monument
- Conservation Area
- Cumulative Sites**
- Existing: Snettisham Solar Farm

client

**Regener8 Power Ltd**

project title

**Sedgeford Hall Solar Farm**

drawing title

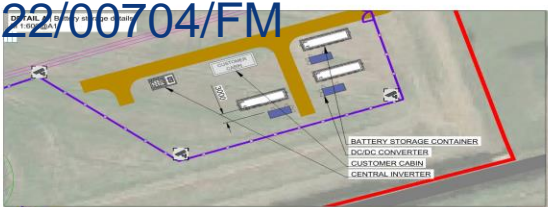
**Figure 4.3: Landscape Designations and Other Relevant Considerations**

date	27 OCTOBER 2021	drawn by	CLM
drawing number	edp6676_001a	checked	TF
scale	1:40,000 @ A3		RB



Registered office: 01285 749427 - www.edp-uk.co.uk - info@edp-uk.co.uk

22/00704/FM



- Notes:
1. All dimensions to be confirmed on site prior to installation.
  2. All dimensions are indicative only and in mm unless otherwise specified.



Revisions:

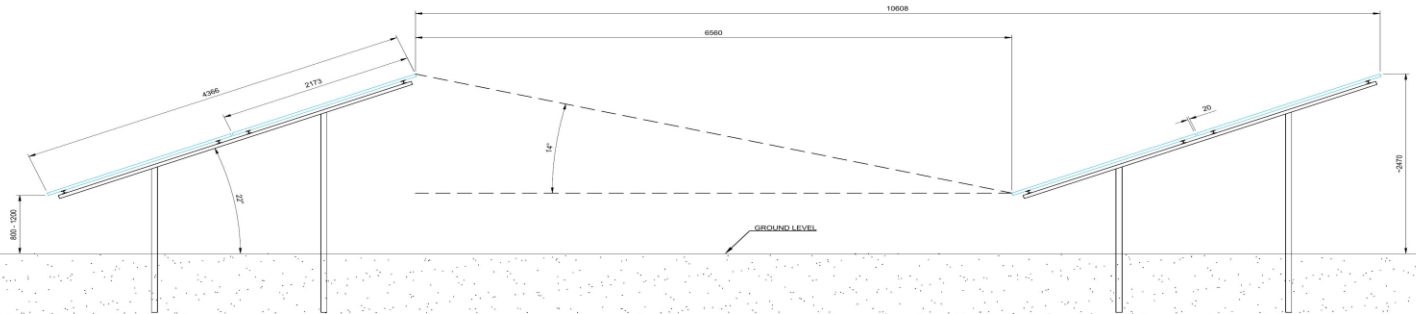
Rev	Date	Comments	Drawn
J.	11/09/21	Site boundary adjusted	DA
K.	30/09/21	Layout updated	AP
L.	24/09/21	Modules reoriented	AP
M.	27/09/21	Fence relocated	AP
N.	28/09/21	Fence relocated	AP

Project: Swedgford Hall  
 Location: Kings Lynn PE33 6SE, United Kingdom 52°52'53.79"N 0°33'13.1"E  
 Title: PV Layout

Drawn: DETRA / ZS  
 Date: 11/09/21  
 Checked: AP  
 Date: 30/09/21  
 Drawing No: 004003-030  
 Rev: N

The Old Hag Inn, Long Garden Walk,  
 Old Hag, Kings Lynn, Norfolk PE33 6SE  
 Email: admin@regener8power.com  
 Register@regener8power.com  
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13



- Name:
1. All dimensions to be confirmed on site prior to installation.
  2. All dimensions are indicative only and in mm unless otherwise specified.

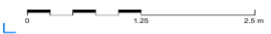


Revisions:

Rev	Date	Comments	Drawn
A	01/08/22	Frame maximum height changed	UZ

Project: Sedgeford Hall  
 Location: Kings Lynn, PE31 6BB, United Kingdom  
 Grid: 52°53.797N 0°33'13.31"E  
 Title: PV Array Details

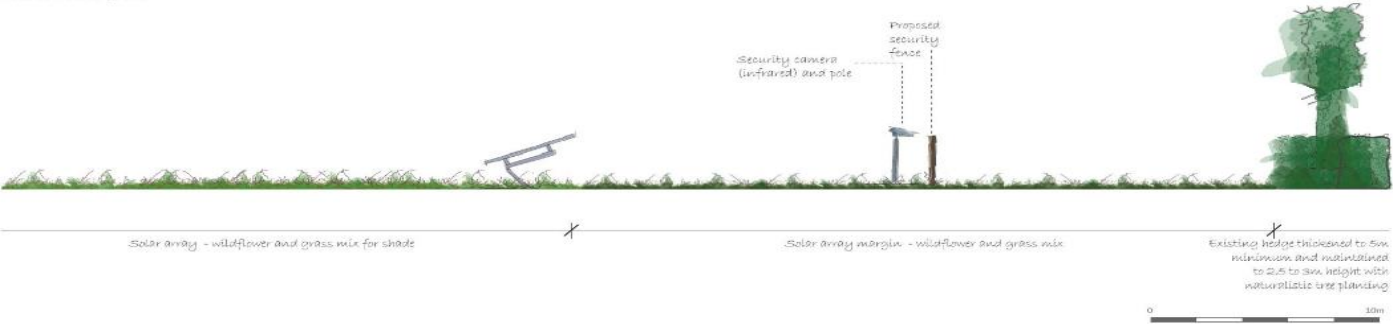
Drawn: DETRA / MG    Checked: AF  
 Scale: 1:250A1    Date: 08/11/21  
 Drawing No: FPM/1003-000    Rev: A



**REGENER8 CIVILS**

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 Old Hop, King's Lynn, PE31 6BB  
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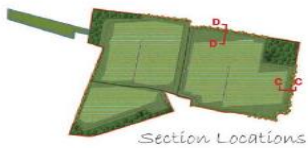
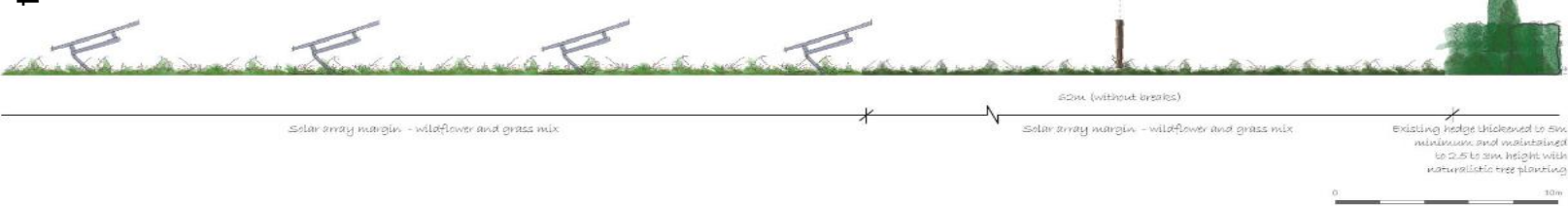
This drawing has been prepared by Regener8 Civils and is for information only. It is not intended to be used for construction purposes. All dimensions are to be confirmed on site prior to installation. The client is responsible for ensuring that the site is suitable for the proposed installation. Regener8 Civils is not responsible for any damage to property or persons arising from the use of this drawing.



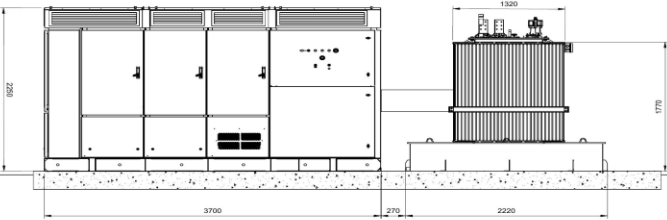
## Cross Section D-D

Scale: 1:200 @ A3

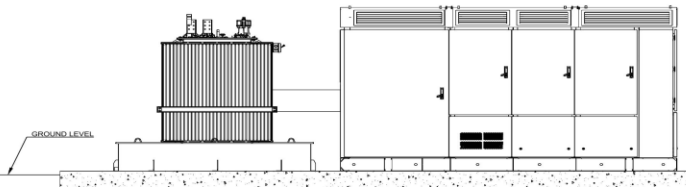
Width of the areas fore-shortened so that sections fit onto paper.



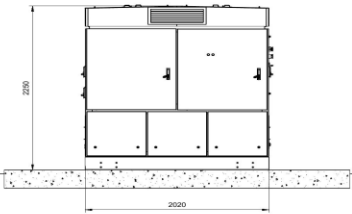
LEFT SIDE VIEW



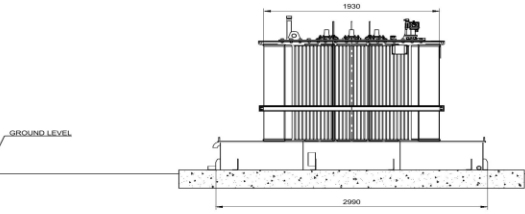
RIGHT SIDE VIEW



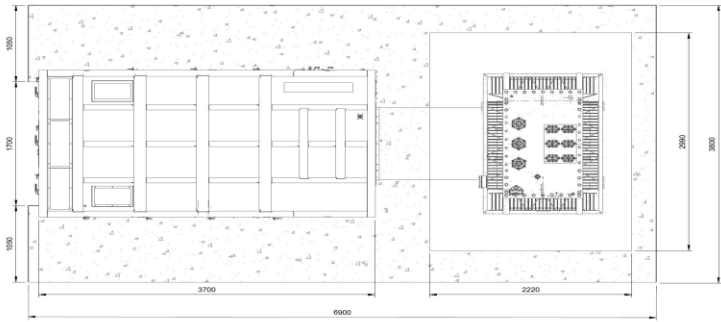
FRONT SIDE VIEW



REAR SIDE VIEW



TOP VIEW



- Note:
1. All dimensions to be confirmed on site prior to installation.
  2. All dimensions are indicative only and no item unless otherwise specified.
  3. Dimensions that needs to be site specific and decided by subcontractor.

15



Revisions:

Rev	Date	Comments	Drawn

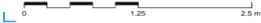
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 Location: Kings Lynn, PE31 6GB, United Kingdom  
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 Title: Central Inverter Elevation

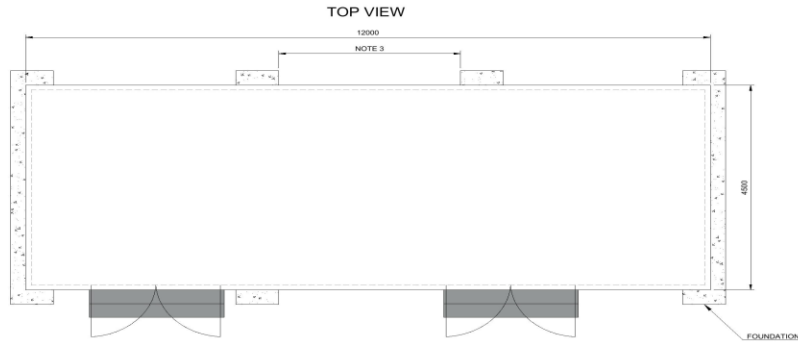
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Checked: AP  
 Date: 09/11/21  
 Rev: -



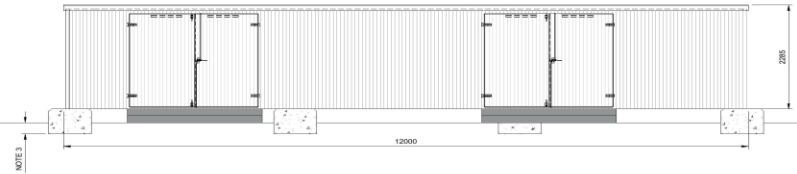
The Old Hop Kiva, Long Garden Walk,  
 Old Trap, UK  
 Email: admin@regener8power.com  
 regener8power.com



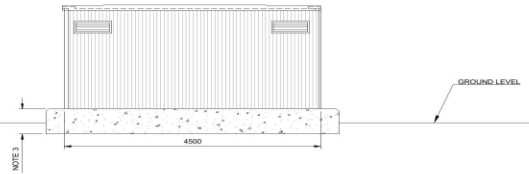


- Notes:
1. All dimensions to be confirmed on site prior to installation.
  2. All dimensions are indicative only and in mm unless otherwise specified.
  3. Distances that needs to be site specific and decided by subcontractor.

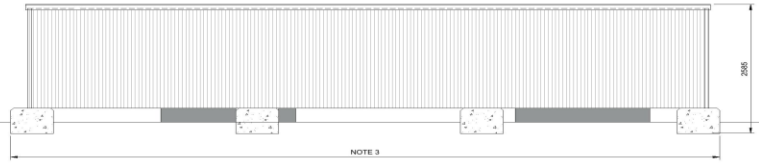
FRONT SIDE VIEW



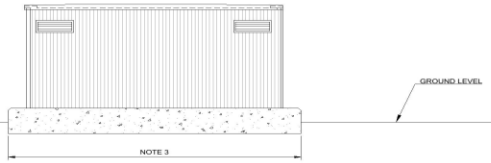
RIGHT SIDE VIEW



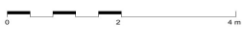
REAR SIDE VIEW



LEFT SIDE VIEW



16



Revisions:

Rev	Date	Comments	Drawn

Project: Swigford Hall  
 Location: King's Lynn, PE31 6SS, United Kingdom 52°52'53.79"N 0°33'13.31"E  
 Title: Customer Cabin Details

Drawn: DETRA / AP Checked: AF  
 Scale: 1:400(A1) Date: 09/11/21  
 Drawing No: R041/003.010 Rev: --

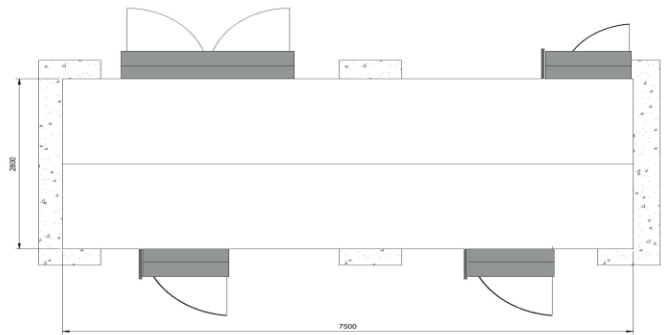
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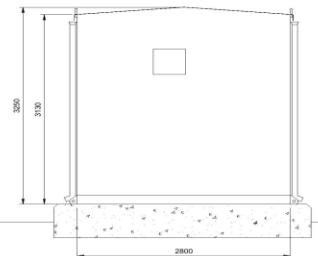


17

TOP VIEW



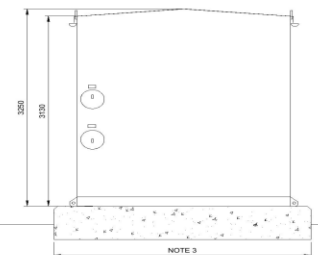
RIGHT SIDE VIEW



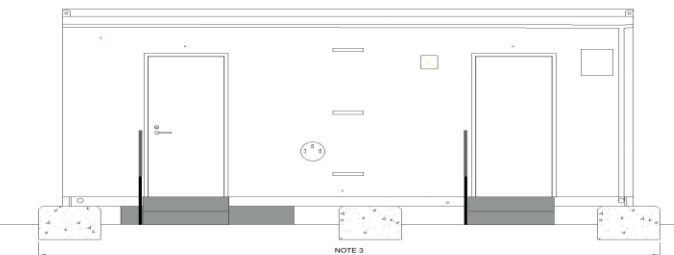
FRONT SIDE VIEW



LEFT SIDE VIEW



REAR SIDE VIEW



- Notes:
1. All dimensions to be confirmed on site prior to installation.
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  3. Distances that needs to be site specific and decided by subcontractor.



Revisions:

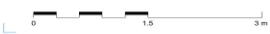
Rev	Date	Comments	Drawn

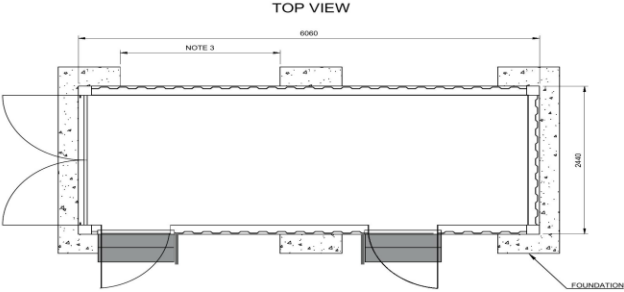
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 Location: King's Lynn, PE31 6SE, United Kingdom 52°52'53.79"N 0°33'13.31"E  
 Title: DNO Details

Drawn: DETRA / AP    Checked: AF  
 Scale: 1:200(A1)    Date: 09/11/21  
 Drawing No: R041/003/020    Rev: -

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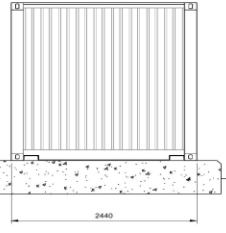
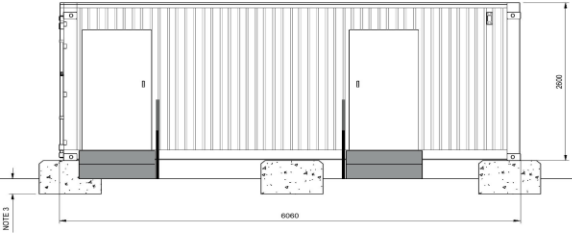
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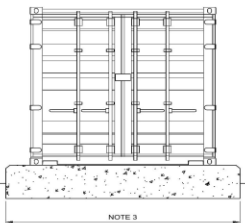
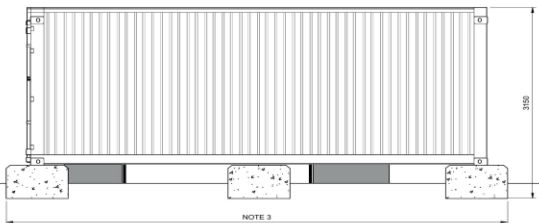
FRONT SIDE VIEW

RIGHT SIDE VIEW

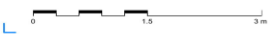


REAR SIDE VIEW

LEFT SIDE VIEW



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- Notes:
1. All dimensions to be confirmed on site prior to installation.
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  3. Distances that needs to be site specific and decided by subcontractor.



Revisions:

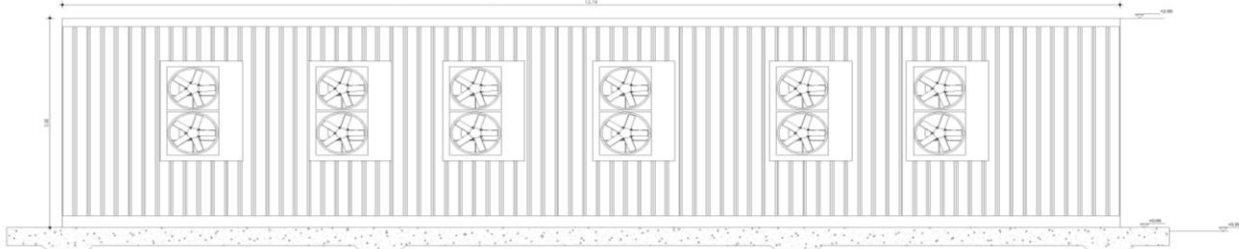
Rev.	Date	Comments	Drawn

Project: Swigford Hall  
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 Title: DC/DC Converter Details

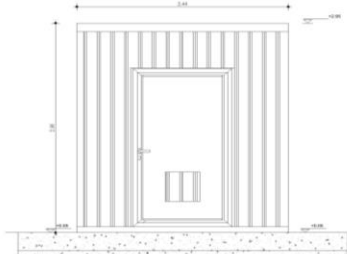
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 Scale: 1:200(A1)      Date: 03/09/21  
 Drawing No: R041/003/229      Rev: --

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 210A The Old  
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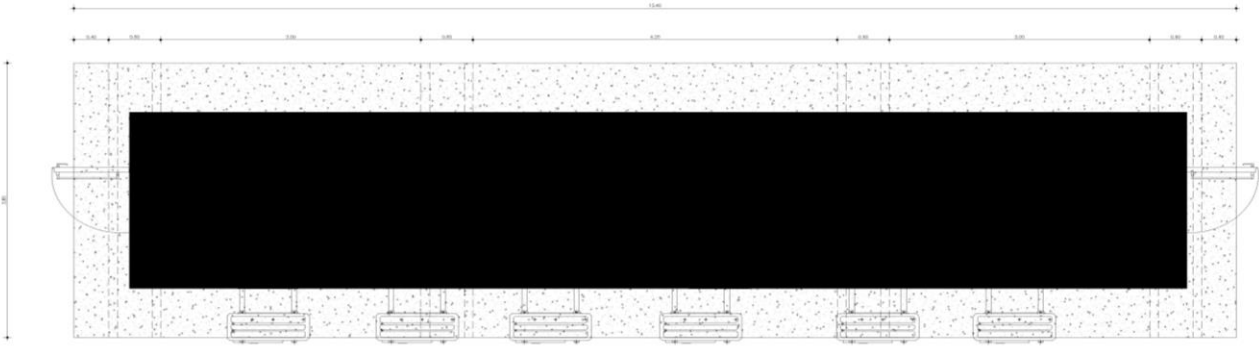
BATTERY SIDE VIEW (same view for both sides)



BATTERY SIDE VIEW



BATTERY PLAN VIEW

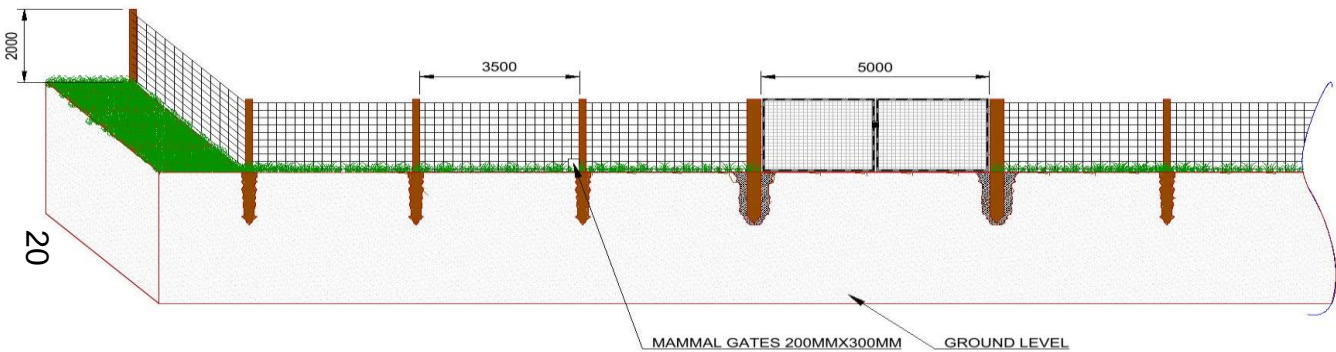


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\*Foundation type and dimensions are indicative. They will be finalized based on geometrical and structural studies.

		LIC - Sedghard Hall Project	
BATTERY CONTAINER		DRAWING NO.	
PROJECT NO.		DATE	
CLIENT		SCALE	
DESIGNER		CHECKED BY	
APPROVED BY		PROJECT MANAGER	

- Notes:
1. All dimensions to be confirmed on site prior to installation.
  2. All dimensions are indicative only and in mm unless otherwise specified.



Proposed location:



Revisions:

Rev	Date	Comments	Drawn

Project: Sedgeford Hall  
 Location: King's Lynn, PE31 6SB, United Kingdom  
 52°52'53.79"N 0°33'13.31"E  
 Title: Fence & Gate Section Details

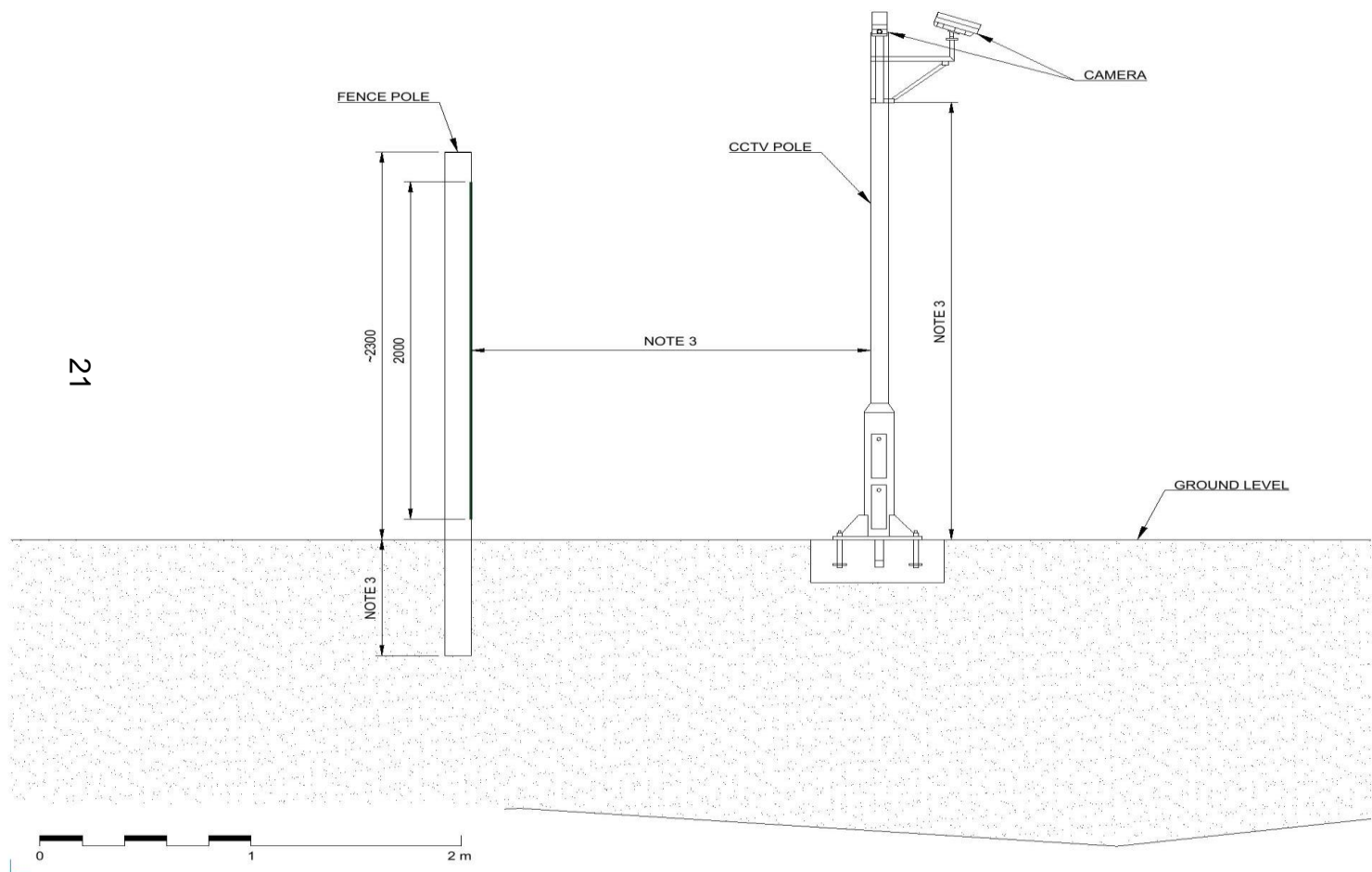
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 Scale: 1:100@A3 Date: 03/11/21  
 Drawing No: RNR1003-231 Rev: --



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  2. All dimensions are indicative only and in mm unless otherwise specified.
  3. Distances that needs to be site specific and decided by subcontractor.



21

Proposed location:



Revisions:

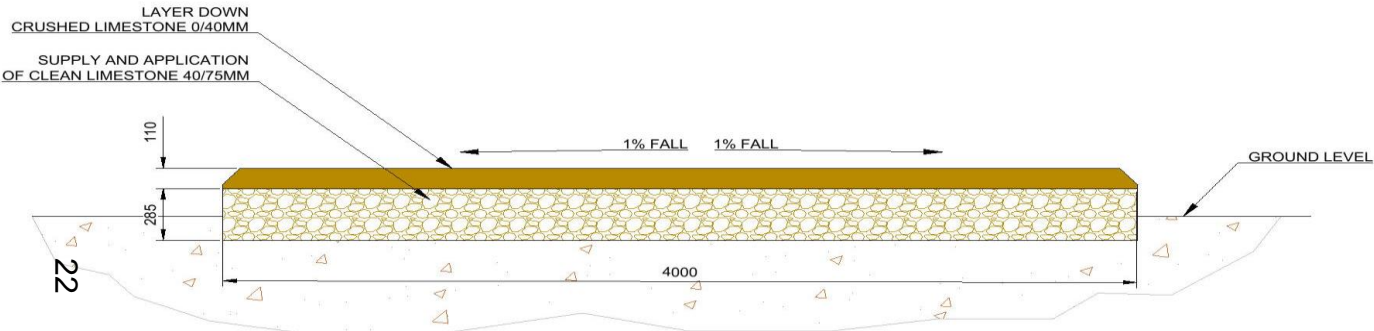
Rev	Date	Comments	Drawn

Project: Sedgeford Hall  
 Location: King's Lynn, PE31 6SB, United Kingdom  
 52°52'53.79"N 0°33'13.31"E  
 Title: CCTV Pole Mounting Details

Drawn: DETRA / AP      Checked: AF  
 Scale: 1:20@A3      Date: 03/11/21  
 Drawing No: RNR1003-232      Rev: --



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Revisions:

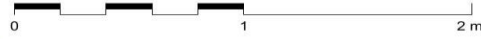
Rev	Date	Comments	Drawn

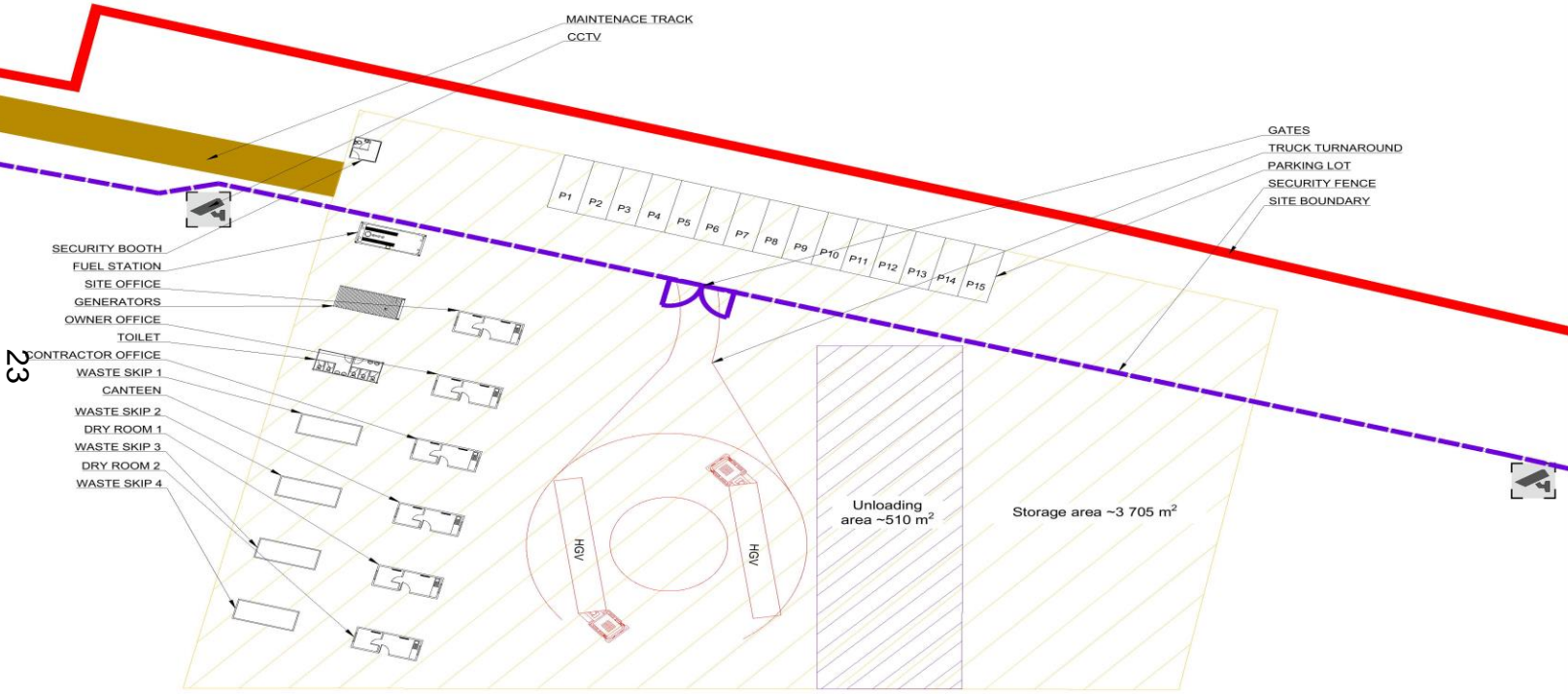
Project: Sedgeford Hall  
 Location: King's Lynn, PE31 6SB, United Kingdom  
 52°52'53.79"N 0°33'13.31"E  
 Title: Access Track Section Details

Drawn: DETRA / AP      Checked: AF  
 Scale: 1:20@A3      Date: 03/11/21  
 Drawing No: RNR1003-230      Rev: --



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- Notes:
1. All dimensions to be confirmed on site prior to installation.
  2. All dimensions are indicative only and in mm unless otherwise specified.

- Legend:
- Site boundary
  - Perimeter fence
  - Maintenance track (6m wide)
  - CCTV
  - Site office
  - Owner office
  - Contractor office
  - Canteen
  - Dry room
  - Waste skip
  - Generators
  - Fuel station
  - Toilet
  - Security booth



Revisions:

Rev	Date	Comments	Drawn

Project: Sedgford Hall  
 Location: King's Lynn, PE31 6SE, United Kingdom  
 52°52'53.79"N 0°33'13.31"E  
 Title: Construction Compound Layout

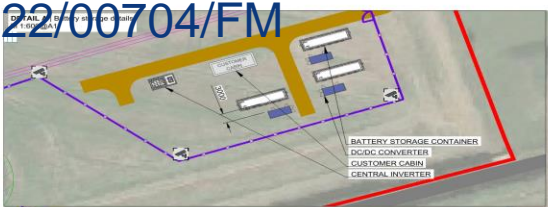
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 Scale: 1:200@A1    Date: 09/11/21  
 Drawing No: R041003-100    Rev:  



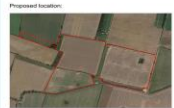
The Old Hag Inn, Long Garden Walk,  
 22a The Old  
 Email: admin@regener8power.com  
 Tel: 01328 820000  
 The Old Hag Inn, Long Garden Walk, 22a The Old, King's Lynn, Norfolk, PE31 6SE, United Kingdom  
 Registered in England. Company No: 10548888



22/00704/FM



- Notes:
1. All dimensions to be confirmed on site prior to installation.
  2. All dimensions are indicative only and in mm unless otherwise specified.



Revisions:

Rev	Date	Comments	Drawn
J.	11/09/21	Site boundary adjusted	DA
K.	30/09/21	Layout updated	AP
L.	24/10/21	Modules relocated	AP
M.	27/09/21	Fence relocated	AP
N.	20/02/21	Fence relocated	AP

Project: Swigfold Hall  
 Location: Kings Lynn PE31 6SE, United Kingdom 52°52'53.79"N 0°33'13.1"E  
 Title: PV Layout

Drawn: DETRA / ZS  
 Scale: 1:175000  
 Date: 30/09/21  
 Checked: AF  
 Drawing No: 004003-100  
 Rev: N

The Old Hag Inn, Long Garden Walk,  
 Old Hag, Kings Lynn, PE31 6SE,  
 Email: admin@regener8power.com  
 Register@regener8power.com

24





### Indicative Planting Schedules

#### Shrub planting: Hedgerows, woodland and woodland edge

Latin Name	Common Name
<i>Frangula alnus</i>	Alder buckthorn
<i>Prunus spinosa</i>	Blackthorn
<i>Malus sylvestris</i>	Crab apple
<i>Cornus sanguinea</i>	Dogwood
<i>Sambucus nigra</i>	Elder
<i>Acor campestris</i>	Field maple
<i>Viburnum opulus</i>	Gelder rose
<i>Crataegus monogyna</i>	Hawthorn
<i>Ilex aquifolium</i>	Holly
<i>Corylus avellana</i>	Hazel
<i>Euonymus europaeus</i>	Spindle
<i>Ligustrum vulgare</i>	Wild privet

#### Tree planting: Hedgerows and woodland

Latin Name	Common Name
<i>Alnus glutinosa</i>	Alder
<i>Populus tremula</i>	Aspen
<i>Fagus sylvatica</i>	Beech
<i>Quercus robur</i>	Common oak
<i>Betula pubescens</i>	Downy birch
<i>Carpinus betulus</i>	Hornbeam
<i>Sorbus aucuparia</i>	Mountain ash
<i>Tilia cordata</i>	Small leaved lime
<i>Castanea sativa</i>	Sweet chestnut
<i>Prunus avium</i>	Wild cherry

#### Wildflower and grass seed mixes

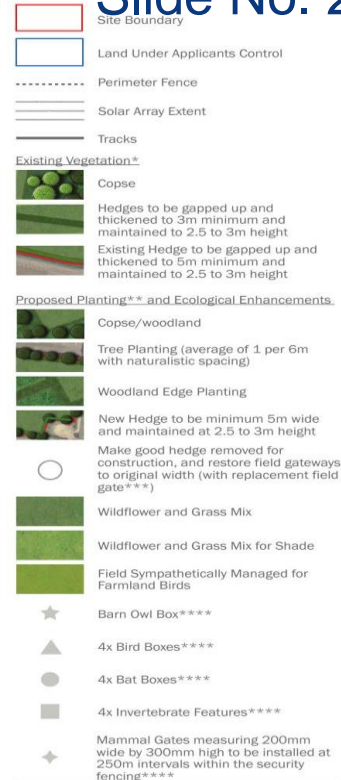
Wild bird crop  
Cotswold Seeds AB9 One Year Winter Bird Food Survival Mixture (Ref:mixsm or similar)

#### Wildflower and grass mix

Emorsgate Basic General Purpose Meadow Mixture (Ref: EM1 or similar advised following soil testing by landscape contractor)

#### Wildflower and grass mix for shade

Emorsgate Hedgerow Mixture (Ref:EH1 or similar advised following soil testing by landscape contractor)



client			
<b>Regener8 Power Ltd</b>			
project title			
<b>Sedgeford Hall Solar Farm</b>			
drawing title			
<b>Figure 4.7: Landscape Strategy</b>			
date	03 FEBRUARY 2022	drawn by	MMM
drawing number	edp6676_d020f	checked	TR
scale	1:5,000 @ A3	QA	RB

edp the environmental dimension partnership

Registered office: 01285 740427 - www.edp-uk.co.uk - info@edp-uk.co.uk



26

Looking west along Fring Road and southwestern point of site



27

View from Fring Road looking north across southern field (foreground) and northern field (background)



28

Looking northeast along Fring Road from southwestern point of site

29



Looking northeast along Fring Road site to left

30



Looking southwest along Fring Road site to right



31

Looking northeast from Fring Road showing reservoir

32



Looking northwest from Fring Road showing reservoir





33

Looking east along Fring Road site to left



34

Looking west along Fring Road site to right

35



View from southeast corner of the site



- Site boundary
- Land Under Applicants Control
- Range Rings (at 1km intervals)
- 2km Detailed Study Area
- Photoviewpoint Location
- Zone of Primary Visibility
- Zone of Secondary Visibility
- Public Rights of Way, Cycleways and Access Land**
- Footpath
- Bridleway
- Byway
- National Cycle Routes (Sustrans)
- Peddars' Way and Norfolk Coast Trail
- CRoW act 2000 Access Layer
- Roads**
- A Road
- B Road
- Other

- Residential Properties**
- Glover's Farm
- Adjacent to Hill Plantation
- Red Barn Farm
- Red Barn Farm Cottages
- Inmere Farm
- Screening Considerations**
- Woodland (National Forest Inventory)
- Local Ridgelines Limiting Visibility
- Cumulative Sites**
- Existing: Snettisham Solar Farm

**client**  
**Regener8 Power Ltd**

**project title**  
**Sedgeford Hall Solar Farm**

**drawing title**  
**Figure 4.6: Findings of EDP's Visual Appraisal**

**date** 27 OCTOBER 2021 **drawn by** OY  
**drawing number** edp6176\_0002c **checked** TR  
**scale** 1:40,000 @ A3 **QA** RB

Approximate extent of Site partially obscured by landform,  
to the east, and beyond site boundary vegetation elsewhere



Mast on northern Site boundary

37

To be viewed at comfortable arm's length.

Approximate extent of Site partially obscured by landform, to the east, and beyond site boundary vegetation elsewhere

Mast on northern Site boundary



38

EA 2016 licensed by copyright to earth image

22/00704/FM

Approximate extent of Site partially obscured by landform, to the east, and beyond site boundary vegetation elsewhere

Mast on northern Site boundary



39



To be reviewed at consultation with AECOM



	<p><b>Project Information</b></p> <p>Project Name: [illegible]</p> <p>Client: [illegible]</p> <p>Address: [illegible]</p>	<p><b>Project Details</b></p> <p>Project No: [illegible]</p> <p>Project Manager: [illegible]</p> <p>Project Engineer: [illegible]</p>	<p><b>Project Location</b></p> <p>Site Name: [illegible]</p> <p>Site Address: [illegible]</p> <p>Postcode: [illegible]</p>	<p><b>Project Status</b></p> <p>Project Phase: [illegible]</p> <p>Project Start: [illegible]</p> <p>Project End: [illegible]</p>	<p><b>Project Contact</b></p> <p>Contact Name: [illegible]</p> <p>Contact Email: [illegible]</p> <p>Contact Phone: [illegible]</p>	<p><b>Project Documents</b></p> <p>Document Name: [illegible]</p> <p>Document Date: [illegible]</p> <p>Document Version: [illegible]</p>	<p><b>Project History</b></p> <p>History Item: [illegible]</p> <p>History Date: [illegible]</p> <p>History User: [illegible]</p>	<p><b>Project Settings</b></p> <p>Setting Name: [illegible]</p> <p>Setting Value: [illegible]</p> <p>Setting Type: [illegible]</p>	<p><b>Project Footer</b></p> <p>Page No: [illegible]</p> <p>Total Pages: [illegible]</p>
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4.1

Applicant's view of the proposed solar PV array location

Looking across subject site

	<p>King's Lynn &amp; West Norfolk Borough Council        Planning Department        Planning Services        100 High Street        King's Lynn, Norfolk        PE30 1AA</p>	<p>Site Location: <b>42200 - 42200</b>        Date of Site: <b>10/10/2022</b>        Project: <b>42200</b>        Reference: <b>22/00704/FM</b></p>	<p>Project/Reference: <b>42200 - 42200</b>        Date of Site: <b>10/10/2022</b>        Project: <b>42200</b>        Reference: <b>22/00704/FM</b></p>	<p>Project/Reference: <b>42200 - 42200</b>        Date of Site: <b>10/10/2022</b>        Project: <b>42200</b>        Reference: <b>22/00704/FM</b></p>	<p>Project/Reference: <b>42200 - 42200</b>        Date of Site: <b>10/10/2022</b>        Project: <b>42200</b>        Reference: <b>22/00704/FM</b></p>	<p>Project/Reference: <b>42200 - 42200</b>        Date of Site: <b>10/10/2022</b>        Project: <b>42200</b>        Reference: <b>22/00704/FM</b></p>	<p>Project/Reference: <b>42200 - 42200</b>        Date of Site: <b>10/10/2022</b>        Project: <b>42200</b>        Reference: <b>22/00704/FM</b></p>	<p>Project/Reference: <b>42200 - 42200</b>        Date of Site: <b>10/10/2022</b>        Project: <b>42200</b>        Reference: <b>22/00704/FM</b></p>	<p>Project/Reference: <b>42200 - 42200</b>        Date of Site: <b>10/10/2022</b>        Project: <b>42200</b>        Reference: <b>22/00704/FM</b></p>
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<b>edp</b> Environmental Design Practice	<b>Project Name:</b> Kings Lynn & West Norfolk	<b>Client:</b> Kings Lynn & West Norfolk	<b>Project No:</b> 22/00704/FM	<b>Project Manager:</b> [Name]	<b>Project Date:</b> [Date]	<b>Project Status:</b> [Status]	<b>Project Location:</b> [Location]	<b>Project Contact:</b> [Contact]	<b>Project Email:</b> [Email]	<b>Project Phone:</b> [Phone]	<b>Project Website:</b> [Website]
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43

<b>edp</b>	Environmental Design Practice Environmental Design Practice	Application No: 22/00704/FM Application Date: 15/03/2022	Site Location: 22/00704/FM Site Name: 22/00704/FM	Development Type: 22/00704/FM Type of Development: 22/00704/FM	Section of Plan: 22/00704/FM Section: 22/00704/FM	Site: 22/00704/FM Site Name: 22/00704/FM	Section: 22/00704/FM Section Name: 22/00704/FM
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44

	<p>Environmental Services        100 Victoria Road        Norwich, Norfolk        NR1 3JH</p>	<p>Site Location: <b>WYTHE GREEN</b>        Plot No: <b>WYTHE GREEN</b>        Planning: <b>WYTHE GREEN</b>        Development: <b>WYTHE GREEN</b></p>	<p>Proposed Development: <b>WYTHE GREEN</b>        Planning: <b>WYTHE GREEN</b>        Development: <b>WYTHE GREEN</b></p>	<p>Number of Units: <b>WYTHE GREEN</b>        Density: <b>WYTHE GREEN</b>        Floor Area: <b>WYTHE GREEN</b></p>	<p>Site: <b>WYTHE GREEN</b>        Planning: <b>WYTHE GREEN</b>        Development: <b>WYTHE GREEN</b></p>
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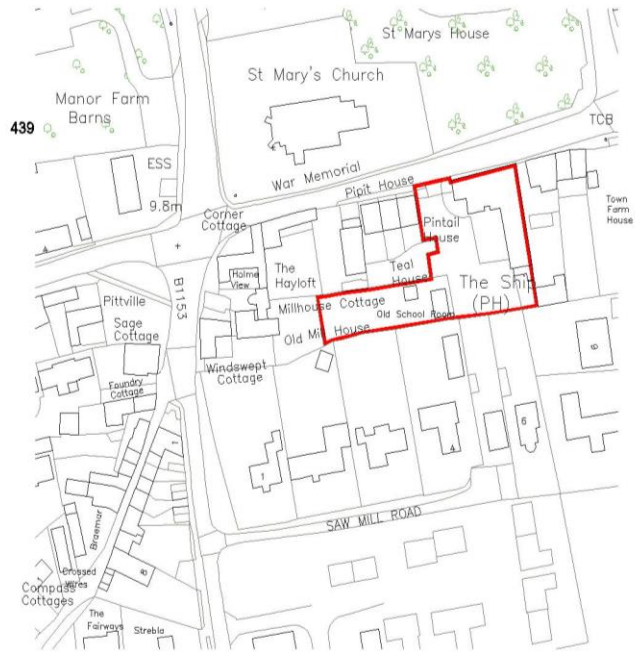


	Environmental Design Environmental Design	Project Name: <b>22/00704/FM</b>	Project Reference: <b>22/00704/FM</b>	Project Status: <b>22/00704/FM</b>	Project Date: <b>22/00704/FM</b>
		Project Location: <b>22/00704/FM</b>	Project Description: <b>22/00704/FM</b>	Project Manager: <b>22/00704/FM</b>	Project Contact: <b>22/00704/FM</b>

46

22/01430/F





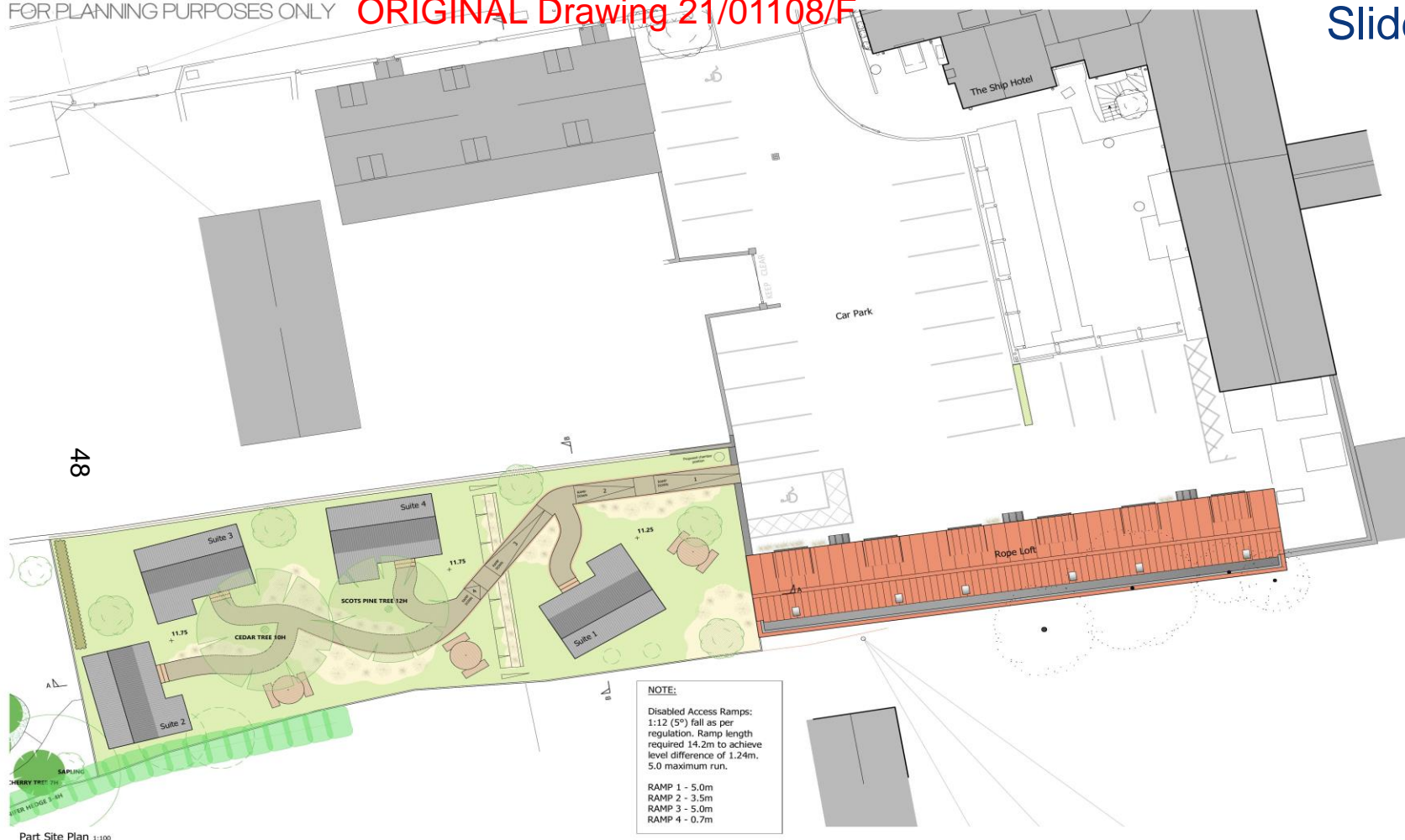
ACS Architectural Ltd  
 20 Westgate, Hunstanton, Norfolk. PE30 6AL  
 Tel: 01465 63212 Email: info@acs-architectural.co.uk

The Ship Hotel  
 Main Road  
 Brancaster  
 Norfolk  
 PE31 8AP

Location Plan

Scale: 1:1250





**NOTE:**

Disabled Access Ramps:  
 1:12 (5%) fall as per regulation. Ramp length required 14.2m to achieve level difference of 1.24m, 5.0 maximum run.

RAMP 1 - 5.0m  
 RAMP 2 - 3.5m  
 RAMP 3 - 5.0m  
 RAMP 4 - 0.7m

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2. Measurements to be checked on site by the Contractor prior to commencement of works and any discrepancies brought to the attention of ACS Architectural Ltd.

Revision

Revision	Description



ACS Architectural Ltd  
 30 Westgate, Hunstanton, Norfolk, PE26 5AL  
 Tel: 01263 623232 Email: info@acs-architectural.co.uk

Project:

Proposed Hotel Accommodation  
 The Ship Hotel  
 Main Road  
 Brancaster  
 Norfolk  
 PE31 8AP

Drawing Title:

Proposed Site Plan

Note: Paper size 941 x 594mm

Scale: 1:100 @ 91 x 54mm

Date: January 2023

Drawn: N/A

Drawing No.:

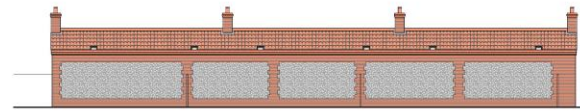




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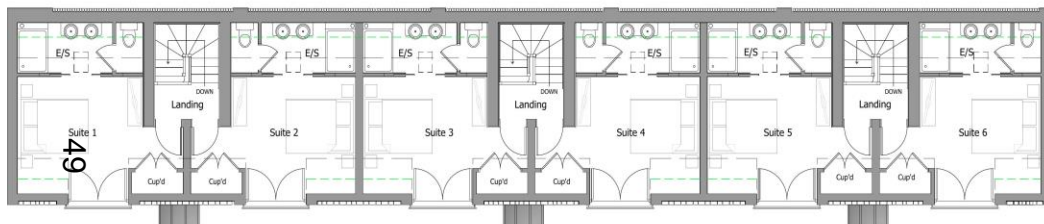
West Elevation



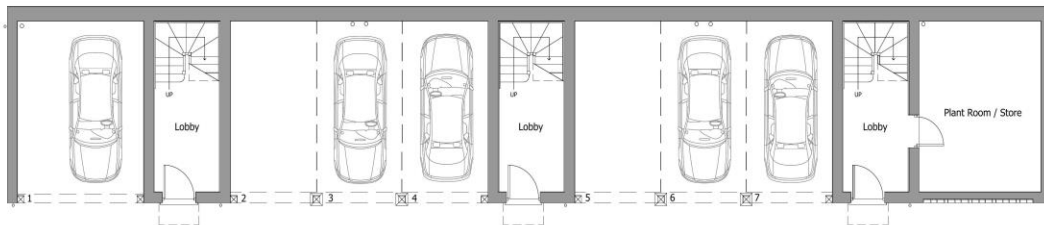
South Elevation



East Elevation



First Floor Plan 1:50

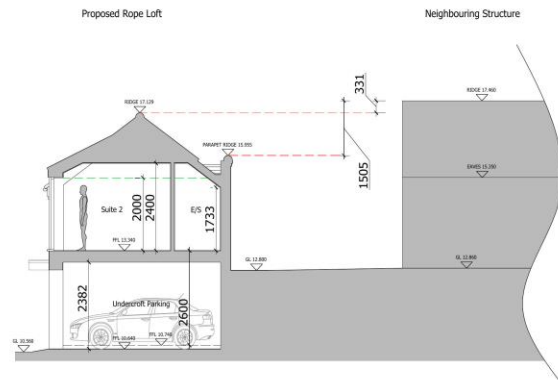
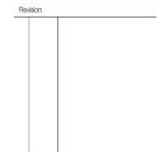


Ground Floor Plan 1:50

**Materials**

- Natural Clay Pantiles.
- Red facing brickwork with chalk infill (north).
- Red facing brickwork with flint infill (south).
- Painted timber windows and doors.
- Black downpipes and gutters.
- 500mm high woven willow fencing atop north boundary wall.

**Disclaimer:**  
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 2. All work elements to be checked on site by the Contractor prior to commencement of work, and any discrepancies brought to the attention of ACS Architectural.



Typical Section 1:50



**Project:**  
 Proposed Hotel Accommodation  
 The Ship Hotel  
 Main Road  
 Brancaster  
 Norfolk  
 PE31 8AP

**Drawing Title:**  
 Proposed Floor Plans, Elevations and Section  
**Note:** Paper size 1141 x 594mm

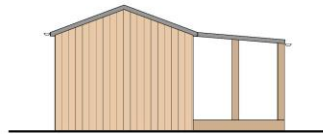
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**Client:** N/A

Drawing No.:

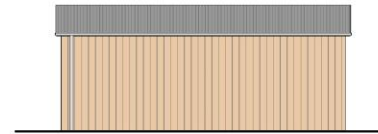




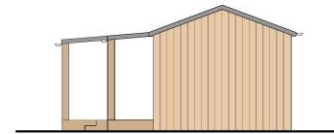
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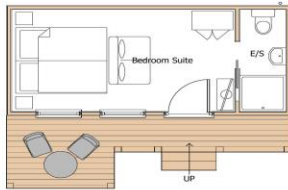
Side Elevation 1



Rear Elevation



Side Elevation 2



Ground Floor Plan 1:50



Typical Section 1:50



Typical Section 1:50



Existing Part Site Section B-B 1:100

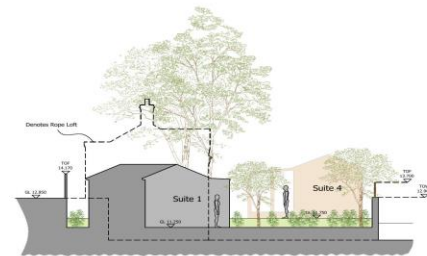
50

**Materials**

- Natural timber cladding.
- Corrugated sheet roofing
- Natural timber windows and doors.
- Galvanized steel downpipes and gutters.
- Timber sleeps to form paths and retaining walls.
- 500mm high woven willow fencing atop north boundary wall.



Proposed Site Section A-A 1:100



Proposed Part Site Section B-B 1:100

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 2. Measurements to be checked on site by the Contractor prior to commencement of works and any discrepancies brought to the attention of ACS Architectural Ltd.

Revisions:

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ACS Architectural Ltd  
 20 Westgate, Hunstanton, Norfolk PE30 5AL,  
 Tel: 01485 82020 Email: info@acs-architectural.co.uk

Project:  
 Proposed Hotel Accommodation  
 The Ship Hotel  
 Main Road  
 Brancaster  
 Norfolk  
 PE31 8AP

Drawing Title:  
 'Surfers Huts'  
 Proposed Floorplan, Elevations and Sections

Scale: 1:50, 1:100 0/A1  
 Date: March 2023  
 Drawn: NAB

Drawing No:



51

**NOTE:**  
 Disabled Access Ramps:  
 1:12 (5°) fall as per regulation. Ramp length required 14.2m to achieve level difference of 1.24m. 5.0 maximum run.

RAMP 1 - 5.0m  
 RAMP 2 - 5.0m  
 RAMP 3 - 4.2m

2no. Hitachi Yutaki SR0 6v air source heat pumps or similar (indicative position).  
 Acoustic Panels (indicative position)

\*\*\*PAPER SIZE\*\*\*  
 941mm x 594mm



A. URET 3 Poppyfields Retail Park  
 Poppyfields Drive  
 Snettisham  
 PE31 7RE

T. 01485 532112  
 E. info@aco-architectural.co.uk

**Project**  
 Proposed Hotel Accommodation  
 The Ship Hotel  
 Main Road  
 Brancaster  
 PE31 8AP

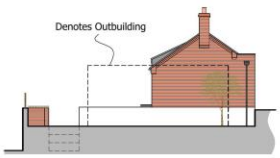
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 Proposed Site Plan

**Date** **Paper**  
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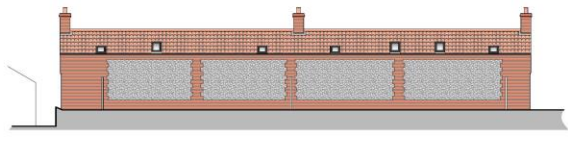
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 403/18/11 F



North Elevation 1:100  
0 2 5.0m



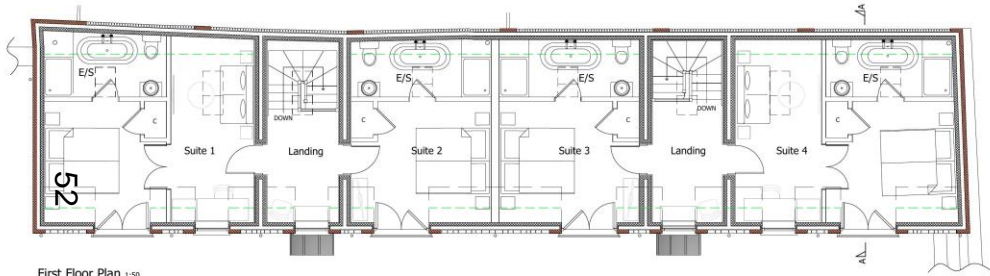
West Elevation



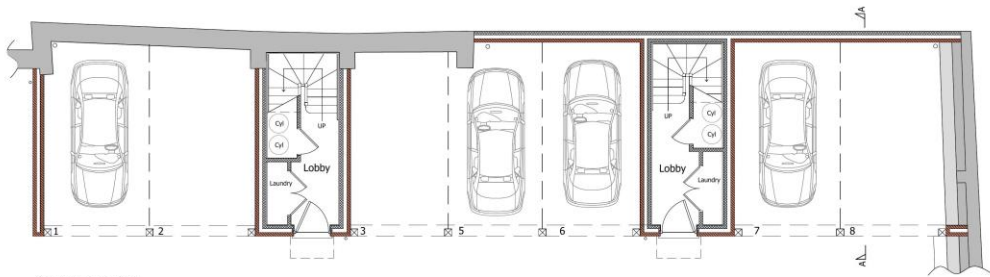
South Elevation



East Elevation



First Floor Plan 1:50  
0 1 2.5m

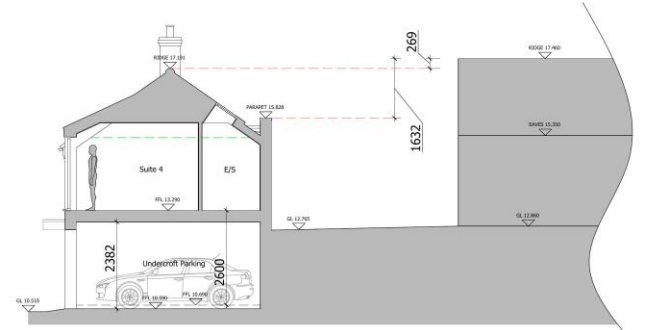


Ground Floor Plan 1:50  
0 1 2.5m

**Materials**

- Natural Clay Pantiles.
- Red facing brickwork with chalk infill (north).
- Red facing brickwork with flint infill (south).
- Painted timber windows and doors.
- Black downpipes and gutters.
- 500mm high woven willow fencing atop north boundary wall.

\*\*\*PAPER SIZE\*\*\*  
1041mm x 594mm



Section A-A 1:50  
0 1 2.5m



UNIT 3 Poppyfields Rural Park  
Poppyfields Drive  
Southam  
PE21 7JH  
01495 522113  
info@acs-architectural.co.uk

**Project**  
Proposed Hotel Accommodation  
The Ship Hotel  
Main Road  
Brancaster  
PE21 6AF

**Title**  
Proposed Floor Plans, Elevations and Section

**Date** **Paper**  
01.03.21 08.08.22  
01.03.21 08.08.22

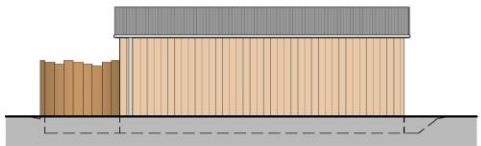
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Front Elevation & Part Section 1:50  
0 1 2.5m



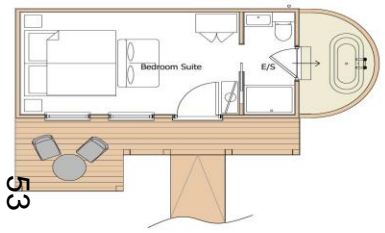
Side Elevation 1 & Part Section



Rear Elevation



Side Elevation 2



Ground Floor Plan 1:50  
0 1 2.5m



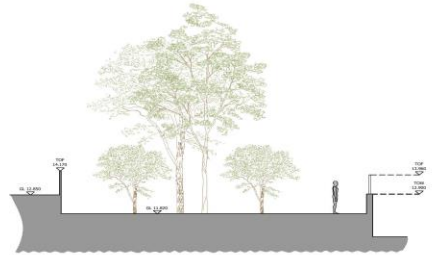
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0 1 2.5m



Typical Section 1:50  
0 1 2.5m

**Proposed Materials**

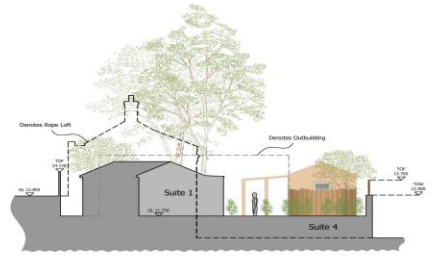
- Natural timber cladding.
- Corrugated sheet roofing
- Natural timber windows and doors.
- Galvanized steel downpipes and gutters.
- Timber sleeps to form paths and retaining walls.
- 500mm high woven willow fencing atop north boundary wall.



Existing Site Section B-B 1:100  
0 1 5m



Proposed Site Section A-A 1:100  
0 1 5m



Proposed Site Section B-B 1:100  
0 1 5m



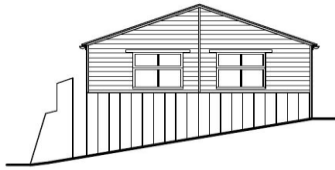
UNIT 3 Poppyfields Retail Park  
Poppyfields Drive  
Snettisham  
PE33 7PW  
T: 01485 532112  
E: info@acs-architectural.co.uk

**Project**  
Proposed Hotel Accommodation  
The Ship Hotel  
Main Road  
Brancaster  
PE33 8AP

**Title**  
'Surfers Hubs' - Proposed Plans,  
Elevations & Sections

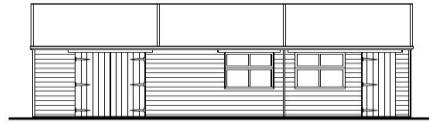
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Draw Issue Date Issue Reason  
03.03.21 29.07.22

**Drawing No.** 403/18/14  
**Rev.** F

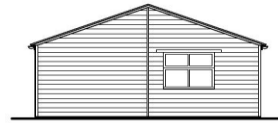


North Elevation 1:100

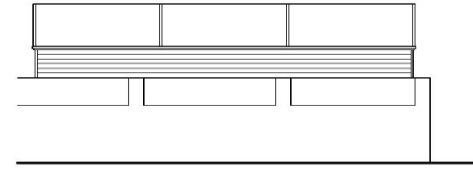
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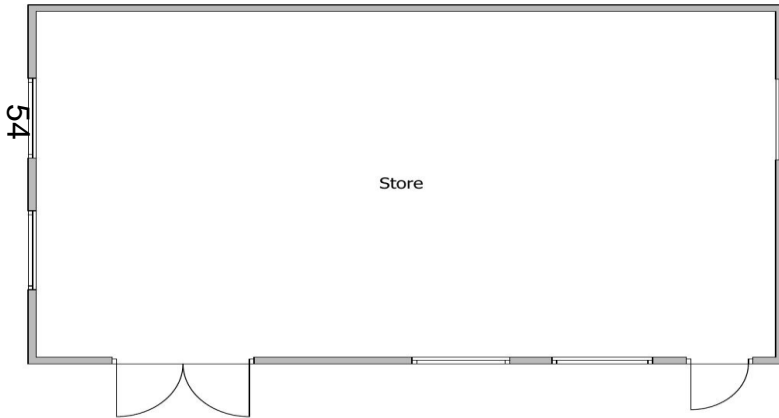
West Elevation



South Elevation



East Elevation



Ground Floor Plan 1:50

0 1 2.5m



ACS ARCHITECTURAL

- A. UNIT 3 Poppyfields Retail Park  
Poppyfields Drive  
Snettisham  
PE31 7FR
- T. 01485 532112
- E. info@acs-architectural.co.uk

**Project**

Proposed Hotel Accommodation  
The Ship Hotel  
Main Road  
Brancaaster  
PE31 8AP

**Title**

Existing Store Floor Plan and  
Elevations

**Date**

(First Issued) 22.09.22 (Last Revision) 00.00.00

**Paper**

A3

**Drawing No.**

403/18/16

**Rev.**

0



55

09/07/2011

Looking southeast along Main Road



09/07/2011

Looking south across Main Road



57



09/07/2011

Looking southwest along Main Road



58

Northern and eastern elevations of existing outbuilding to be retained



59

View from car park southwest to 'surfer hut' location



View from car park west



61

09/07/2011

View from car park northwest



62

09/07/2011

View from car park north



View from car park south



View from car park south





View from 'surfer hut' area looking northwest

09/07/2011



View from 'surfer hut' area looking north

67



09/07/2011

View from 'surfer hut' area looking northeast



68

09/07/2011

View from 'surfer hut' area looking east showing western elevation of existing outbuilding to be retained

69



View from 'surfer hut' area looking south



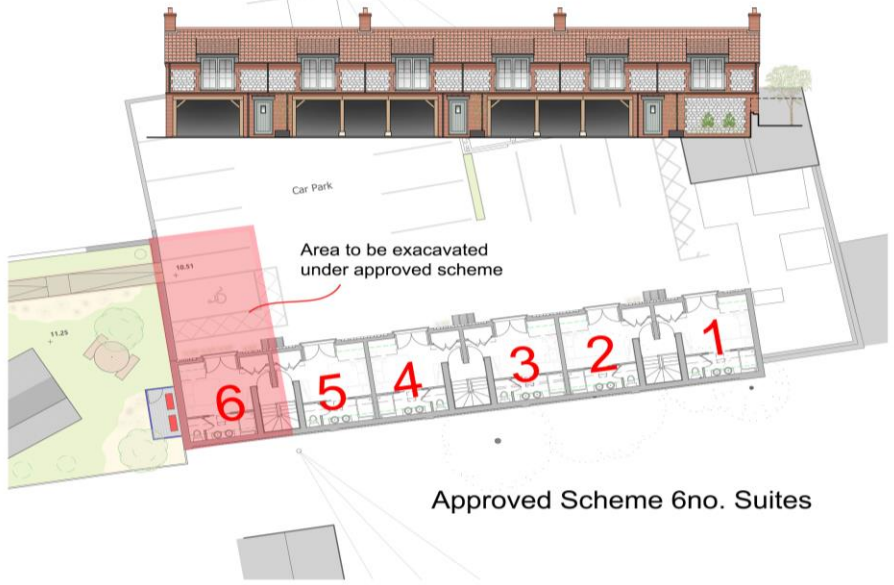
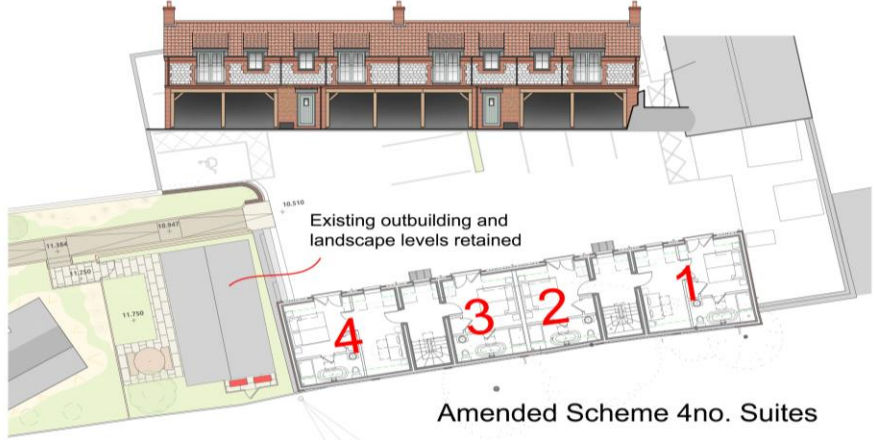
09/07/2011

View from 'surfer hut' area looking west

71

Speaker  
Chris Borrman





72





73

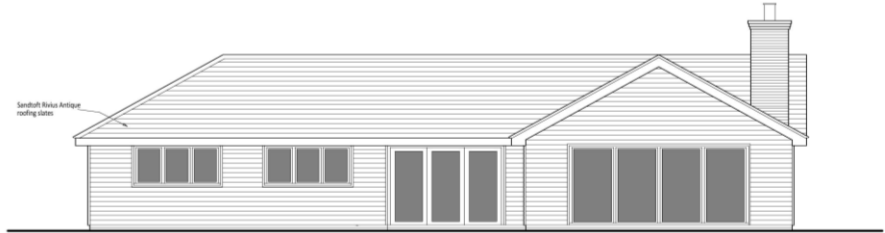
22/01092/F







NORTH ELEVATION

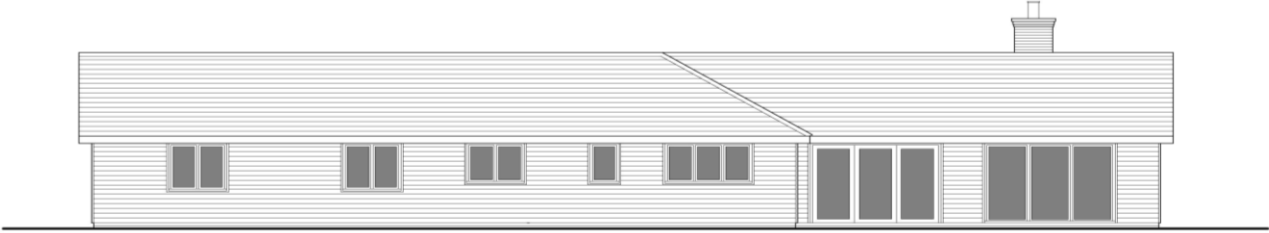


SOUTH ELEVATION

7/5



EAST ELEVATION



WEST ELEVATION

Original drawing created using AutoCAD software. Original drawing size A1. Drawing scale 1:10.

PROPOSED DWELLING  
 WEST OF WOODSTOCK  
 MILL HILL ROAD  
 BOUGHTON  
 PE33 9AE

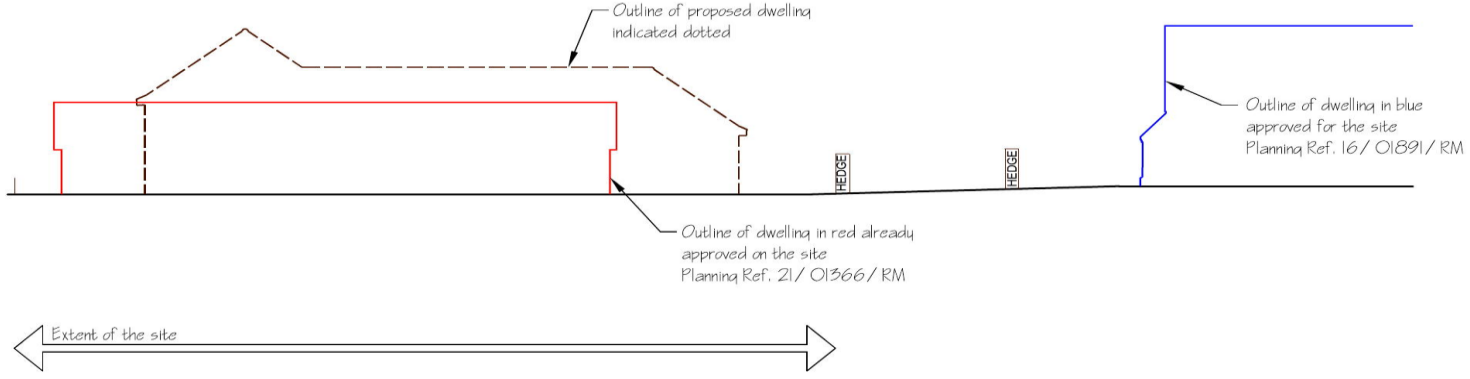
MIKE HASTINGS Building Design  
 58 Sluice Road, Denver,  
 Downham Market  
 Norfolk PE38 0DY  
 Tel: 01366 388715  
 e-mail: mail@mikehastings.co.uk

Drawn	Date 2021
14034	





78



DETAILED SITE SECTION DRAWING INDICATING VARIOUS DWELLING OUTLINES

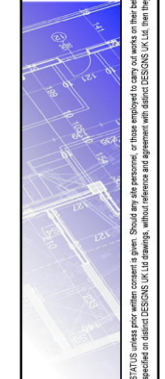
REV	DATE	DESCRIPTION
<small>DO NOT SCALE THE DRAWING TO FIT. DIMENSIONS ONLY.            This drawing is the copyright of distinct DESIGNS &amp; Co. Ltd. Any reproduction without the written consent of distinct DESIGNS &amp; Co. Ltd. is prohibited.            MODIFICATIONS to be made using an ORIGINAL DIGITAL MEDIA.</small>		
PROJECT No	22/966	RESOLUTION
DRAWING No	(GA)5000	RESOLUTION
DATE	25/11/22	STATUS
<b>PRELIMINARY</b>		

CLIENT: **MR. C. BOND**

PROJECT: **PROPOSED NEW RESIDENTIAL DWELLING**

TITLE: **DETAILED SITE SECTION DRAWING INDICATING APPROVED AND PROPOSED DWELLING OUTLINES**

Contractor should ONLY proceed from drawings issued under CONSTRUCTION STATUS unless prior written consent is given. Show all site personnel or those employed to carry out works on their behalf, close alternative materials, components or specifications, or treat any figure relating to dimensions to those specified on distinct DESIGNS & Co. Ltd drawings, which reference and agreement with distinct DESIGNS & Co. Ltd. may be required for their use.





View of the site west.



80

View of the donor dwelling southwest.



81



View to the northwest



82

Views south down Mill Hill Road.



View north up Mill Hill Road



84

View immediate northwest of the site



85

View looking east to donor dwelling, Woodstock.



85

View northeast to access onto the site.



View from site south/southwest.

88



View from site southwest.



68



View from site east.

06



View from site northwest.

91



View from the field/countryside looking east to the site.



92

Wider view from the field/countryside looking east to the site and surrounding.

92

# Speaker Simon Lemmon



**From:** Jane Forde [REDACTED]  
**Sent:** 29 July 2022 09:54  
**To:** Planning EConsultation <planning.econsultation@West-Norfolk.gov.uk>  
**Cc:** Connor Small [REDACTED]  
**Subject:** FW: Planning Application 22/01092/F

#### Conservation Team Comments

No objections.

Although this scheme is much larger than the previously approved scheme, it is set well back and the materials are a great improvement and will cause no harm to the character of the conservation area.

Please condition a sample panel.

Kind regards

**Jane Forder**  
Conservation Support Officer  
Borough Council of King's Lynn and West Norfolk

Please note: My working days are Tuesday to Friday and I am in the office on alternate days.

**From:** Steven King [REDACTED]

**Sent:** 26 July 2022 13:42

**To:** Jane Forde [REDACTED]

**Subject:** Fwd: Planning Application 22/01092/F

Steven King

Conservation Officer

Borough Council of King's Lynn and West Norfolk

[REDACTED]

I am currently working from home and the office on alternate days, but I am replying to emails as quickly as possible

Get [Outlook](#) for iOS

---

**From:** [Planning.econsultation@west-norfolk.gov.uk](mailto:Planning.econsultation@west-norfolk.gov.uk) <[Planning.econsultation@west-norfolk.gov.uk](mailto:Planning.econsultation@west-norfolk.gov.uk)>

**Sent:** Tuesday, July 26, 2022 9:33:02 AM

**To:** Steven King [REDACTED]

**Subject:** Planning Application 22/01092/F

Please see attached consultation document

96

22/00892/F





SITE LOCATION PLAN  
1:1250 @ A4



Denning, 7, Marsh Lane, Burnham Norton, Norfolk, PE31 8DS



Site Plan shows area bounded by: 582592.07, 344054.87, 582733.5, 344196.29 (at a scale of 1:1250), OSGridRef: TFR2664412. The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.  
Produced on 14th Jan 2021 from the Ordnance Survey National Geographic Database and incorporating surveyed revision available at this date. (Reproduction in whole or part is prohibited without the prior permission of Ordnance Survey. © Crown copyright 2021. Supplied by www.buyaplan.co.uk a licensed Ordnance Survey partner (100053143). Unique plan reference: 400590186-184C08  
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DRAWN	PROJECT	DENNING, Burnham Norton Extension & Alterations	TITLE	SITE LOCATION PLAN
CHECKED	SCALE	@ A4 1: 1250	DATE	Jan 21
			NO	2028 P 201
			REV	P1



ORIGINAL Drawing 21/00122/F

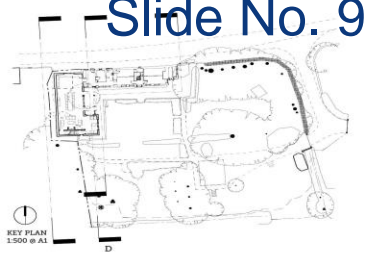


SITE/BLOCK PLAN 1:200 @ A1

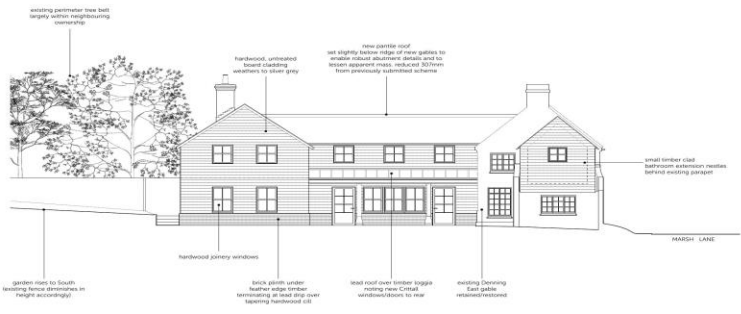
DO NOT SCALE FROM THIS DRAWING AND CHECK ALL DIMENSIONS ON SITE THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT INFORMATION FROM OTHER CONSULTANTS

REV	DATE	NOTES
P1	14.01.21	Issue to Client for information
P2	21.01.21	Externals
P3	03.08.21	Final design & increased setback to North and updated.
PA	04.08.21	RESUBMISSION

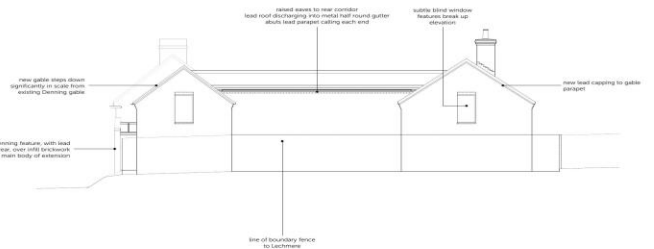
DRAWN	PROJECT	TITLE
	DENNING, Burnham Norton Extension & Alterations	SITE/BLOCK PLAN
CHECKED	SCALE: (BA1) 1:300 (BA2) 1:NA DATE: Jun 21	NO: 2028 P 200 REV: P4



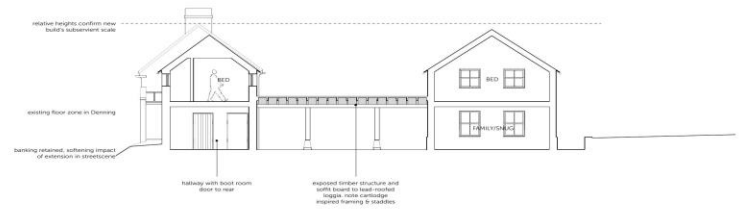
66



EAST ELEVATION 1:100 @ A1



WEST ELEVATION 1:100 @ A1



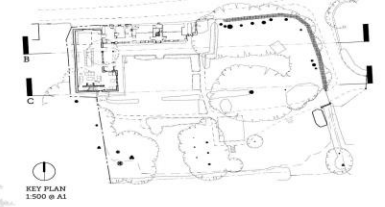
SECTION D THRO' LOGGIA FACING EAST 1:100 @ A1



DO NOT SCALE FROM THIS DRAWING AND CHECK ALL DIMENSIONS ON SITE THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT INFORMATION FROM OTHER CONSULTANTS

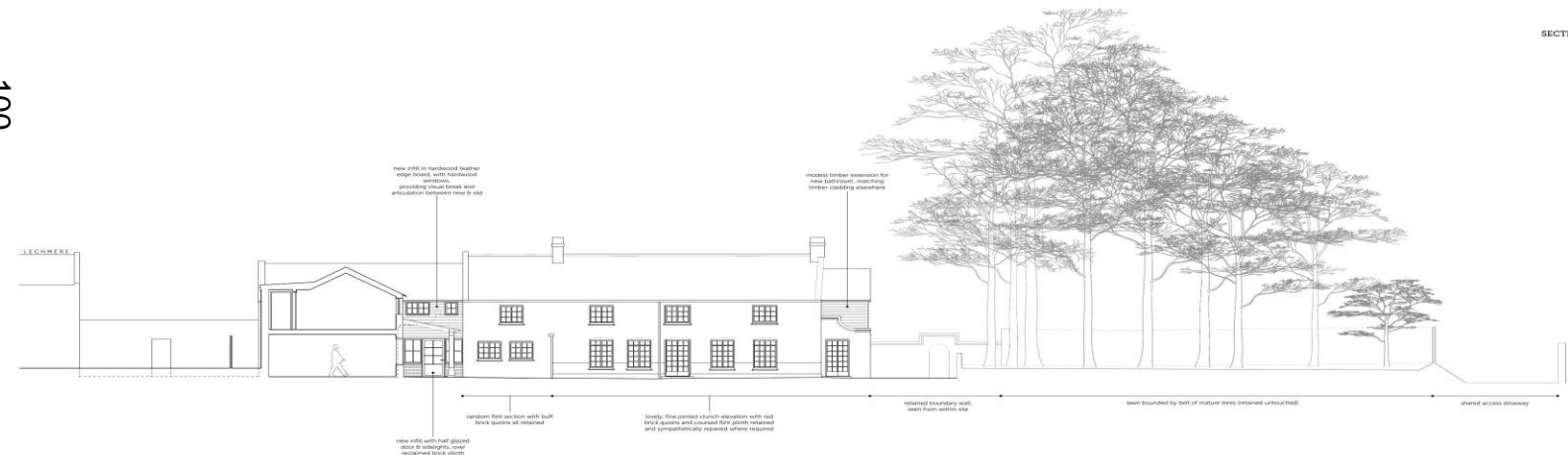
REV	DATE	NOTES
P1	14.12.20	Issue for Client for information
P2	18.12.20	Window amendments
P3	13.01.21	Further notes
P4	04.02.21	Window amendments
P5	09.02.21	Height of stone-cladding block and central block reduced.
P6	09.04.21	REVISIONS

DRAWN	PROJECT	DENNING, Burnham Norton Extension & Alterations	TITLE	EAST & WEST ELEVATIONS, SECTION D
CHECKED	SCALE	0.4m = 1:100 (0.4m = 200)	DATE	Ph 20
			NO	2028 P 112 REV P6



SECTION B FACING NORTH, THRO' LOGGIA  
1:100 @ A1

100



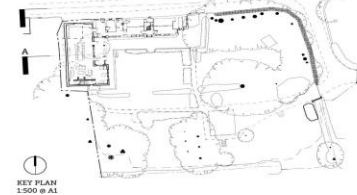
SOUTH ELEVATION / SITE SECTION C  
1:100 @ A1



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THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT INFORMATION FROM OTHER CONSULTANTS

REV	DATE	NOTES
P1	14.12.20	Issue to Client for information
P2	19.12.20	Window amendments
P3	13.01.21	Window alterations
P4	18.01.21	South shading removed
P5	06.02.21	Final window schedule principal bedroom
P6	18.02.21	Final window schedule bedroom
P7	03.06.21	General section roof profile redesigned to suit lower roof to stream drainage
P8	04.06.21	RESUBMISSION

DRAWN	PROJECT	DENNING, Burnham Norton Extension & Alterations	TITLE	SOUTH ELEVATION, SECTION B
CHECKED	SCALE	A1: 1:100 (B1: 1:200)	DATE	Ph 20
			NO	2028 P 111 REV P8

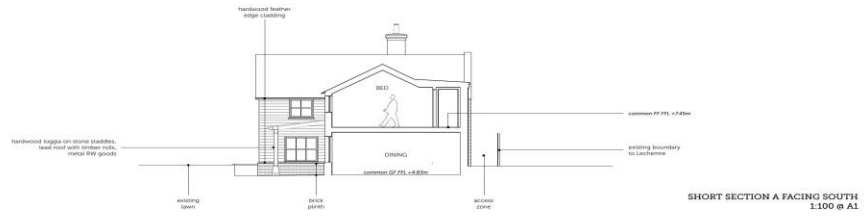


KEY PLAN  
1:500 @ A1

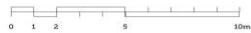
ORIGINAL Drawing 21/00122/F



NORTH (STREET) ELEVATION  
1:100 @ A1



SHORT SECTION A FACING SOUTH  
1:100 @ A1



DO NOT SCALE FROM THIS DRAWING AND CHECK ALL DIMENSIONS ON SITE  
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT INFORMATION FROM OTHER CONSULTANTS

REV	DATE	NOTES
P1	14.12.20	Issue to Client for information
P2	18.12.20	Window amendments
P3	22.01.21	Window replacement
P4	20.01.21	Window to be kept unaltered
P5	21.01.21	Extension details amended
P6	24.01.21	Start to form amended detail
P7	05.06.21	East boundary moved to same height
P8	05.06.21	Extension ridge height retained, Central element roof profile raised, lower ridge, see 20kg pitch
P9	04.08.21	RESUBMISSION

DRAWN	PROJECT	DENNING, Burnham Norton Extension & Alterations	TITLE	NORTH ELEVATION, SECTION A
CHECKED	SCALE	1:100 (20x) 1:200	DATE	Ph 20
			NO	2028 P 110 REV P9

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COVER GRIFFITH ARCHITECTS LLP  
15 HIGH STREET WHITTFIELD ROAD CARBRIDGE CB22 4JT  
www.covergriffith.co.uk



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LECHMERE  
9, Marsh Lane  
(includes for Eastern single  
storey extension)  
new property already substantially  
beyond edge of drawing

SITE/BLOCK PLAN  
1:200 @ A1

TROWLAND  
COTTAGE  
8, Marsh Lane

garage

MARSH LANE

DENNING  
7, Marsh Lane

5, Marsh Lane

ST ANTHONY'S COTTAGE  
3, Marsh Lane

framed  
cartilage

outbuilding to  
1, Marsh Lane

shared vehicular  
access for Nos 5 & 7  
Marsh Lane

EXISTING  
CONNECTIVE:  
no change

new access without  
loss of existing  
service line

new access without  
loss of existing  
service line

retained trees

retained trees

retained trees

retained trees

retained trees

retained trees

retained trees

DO NOT SCALE FROM THIS DRAWING AND CHECK ALL DIMENSIONS ON SITE  
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT INFORMATION FROM OTHER CONSULTANTS

REV	DATE	NOTES
P1	14.01.21	Issue for Client for information
P2	21.01.21	Externals
P3	23.08.21	Final design & increased setback to North end updated
P4	04.08.21	RESUBMISSION
P5	10.05.22	Coordination with scheme redesign

DRAWN  
  
CHECKED

PROJECT DENNING, Burnham Norton  
Extension & Alterations

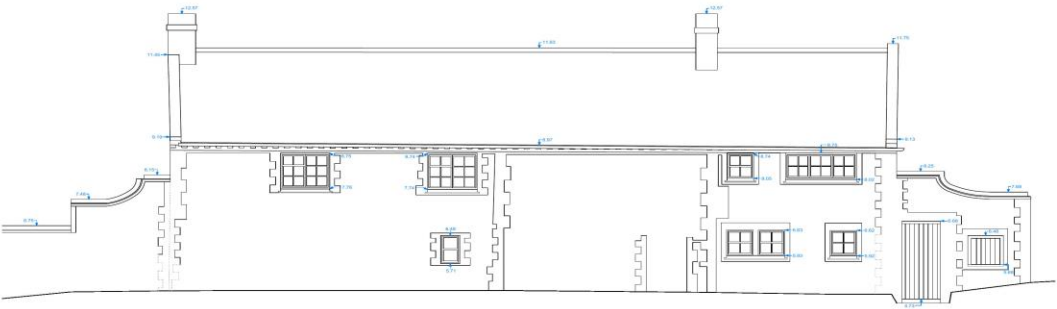
TITLE SITE/BLOCK PLAN

SCALE @A1: 1:200 @A2: 1:100 DATE Jun 21

NO 2028 P 200 REV P5

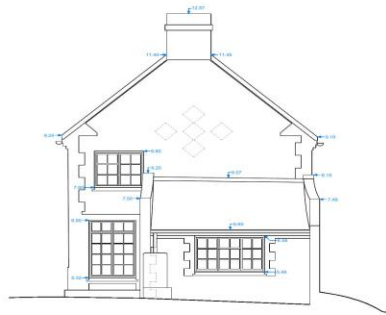
cowper griffith architects

COWPER GRIFFITH ARCHITECTS LLP  
15 HIGH STREET WHITTLERSFORD CAMBRIDGE CB22 4JF  
www.cowpergriffith.co.uk



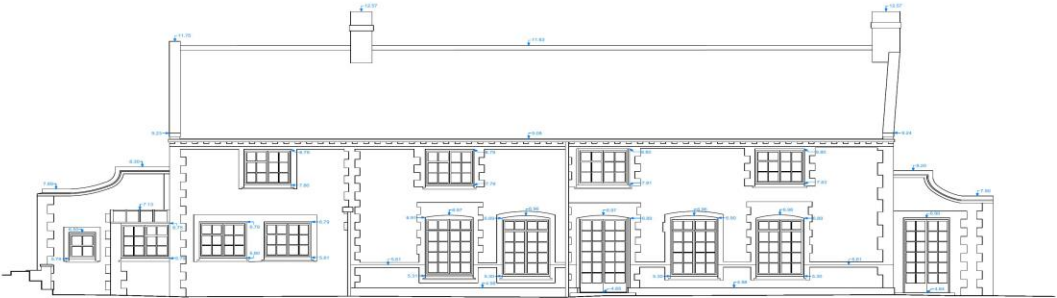
NORTH ELEVATION

Datum Line = 3.000m



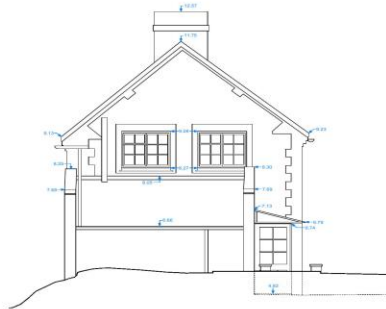
EAST ELEVATION

Datum Line = 3.000m



SOUTH ELEVATION

Datum Line = 3.000m



WEST ELEVATION

Datum Line = 3.000m

103



Rev.	Date	Revisions
A	15.10.20	Levels and brickwork detail added elevations and sections

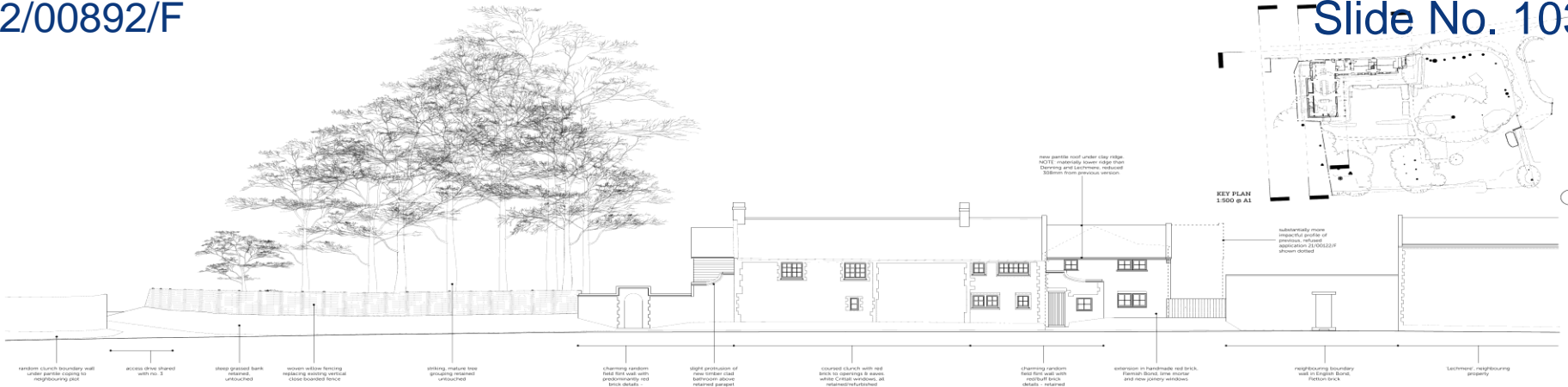
**Notes:**  
 The drawings and data shown in this drawing is dependent on the original specification. The drawings are the designers responsibility and are provided as a guide only. The drawings provide position and description of features on the ground at the time the drawings were completed and do not constitute any form of structural or other engineering information. The drawings are provided as a guide only and do not constitute any form of structural or other engineering information. The drawings are provided as a guide only and do not constitute any form of structural or other engineering information. The drawings are provided as a guide only and do not constitute any form of structural or other engineering information.

**Plan Coordinate Control:**  
 N/A

**Level Points:**  
 All levels relate to OS National datum using geoid model OSN2010 at Control Station A.

**SUNSHINE SURVEY LTD.**  
 LAND & MEASURED BUILDING SURVEYORS  
 Business Reply Address:  
 28 Middleway Road, Ferry H, Edmonds, IP33 3QJ  
 Tel: 01284 450 255, Fax: 01284 450 256  
 Email: info@sunshinesurvey.co.uk  
 Web: www.sunshinesurvey.co.uk

Project Title: DENNING 3 MARSH LANE, BURNHAM NORTON, NORFOLK			
Client: COWPER GRIFFITH ARCHITECTS			
Description: ELEVATIONS (Rev. A)			
Date: 15.10.2020	Scale: 1:50 @ A1	Drawn: CDP	Check: CDP
Disc No: 000000	Sheet: 0001A	Drawn: CDP	Check: CDP

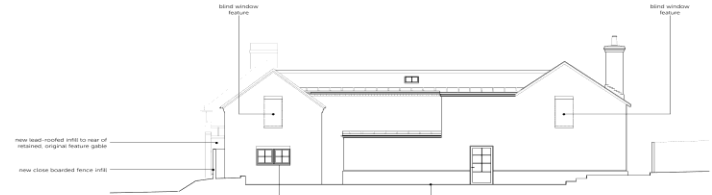


NORTH (STREET) ELEVATION  
1:100 @ A1

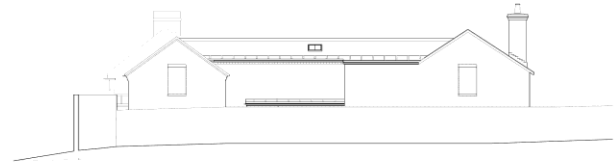
104



EAST ELEVATION  
1:100 @ A1



WEST ELEVATION (taken within site)  
1:100 @ A1



WEST ELEVATION (from adjoining property)  
1:100 @ A1

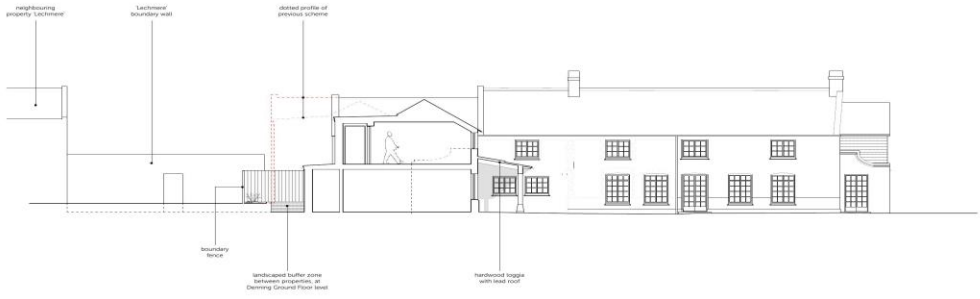
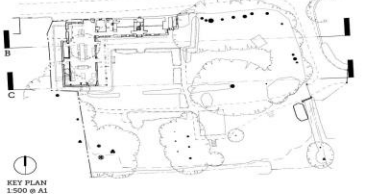


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REV	DATE	NOTES
P1	14.12.20	Issue for Client for information
P2	18.12.20	Window amples
P3	23.01.21	Window elevation
P4	20.01.21	Window to hedge amended
P5	21.01.21	Extension section revised
P6	24.01.21	Start on 18th window detail
P7	05.05.21	East boundary moved to stone bridge
P8	23.08.21	Extension ridge height reduced. Central element roof profile revised. lower ridge, use 20kg pitch
P9	04.08.21	REGISTRATION
P10	05.02.22	Scheme release for planning

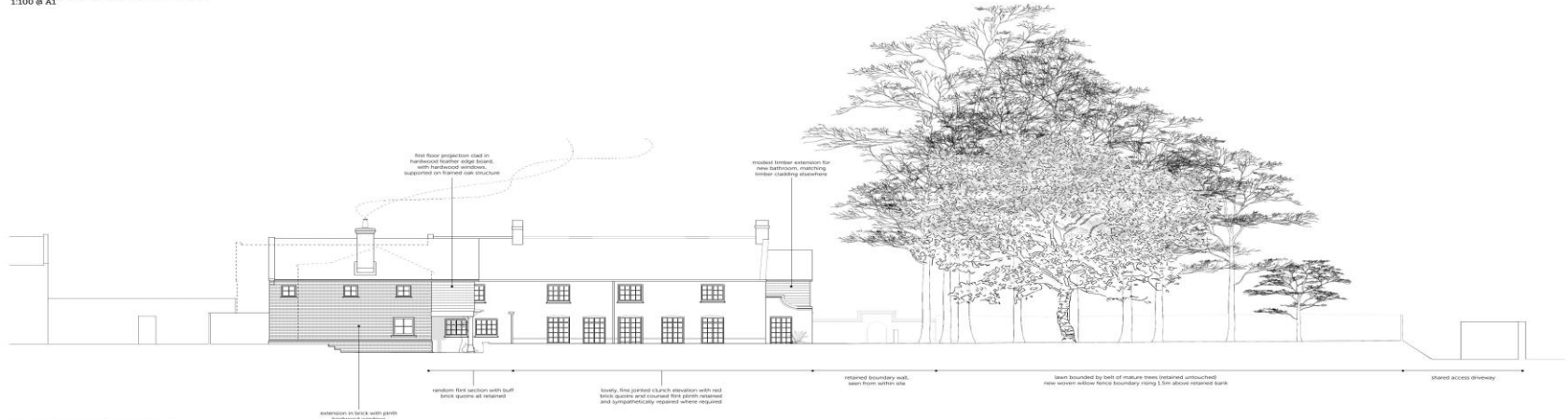
DRAWN	PROJECT	DENNING, Burnham Norton Extension & Alterations	TITLE	NORTH EAST & WEST ELEVATIONS
	CHECKED	SCALE @A1: 1:100 (B&A) 1:200 DATE	NO	2028 P 110 REV P10
cowper griffith architects		COVERER GRIFFITH ARCHITECTS LLP 15 HIGH STREET WHITTLESPORD CAMBRIDGE CB22 4JF www.cowpergriffith.co.uk		





SECTION B FACING NORTH, THRO' LOGGIA  
1:100 @ A1

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SOUTH ELEVATION / SITE SECTION C  
1:100 @ A1

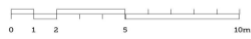
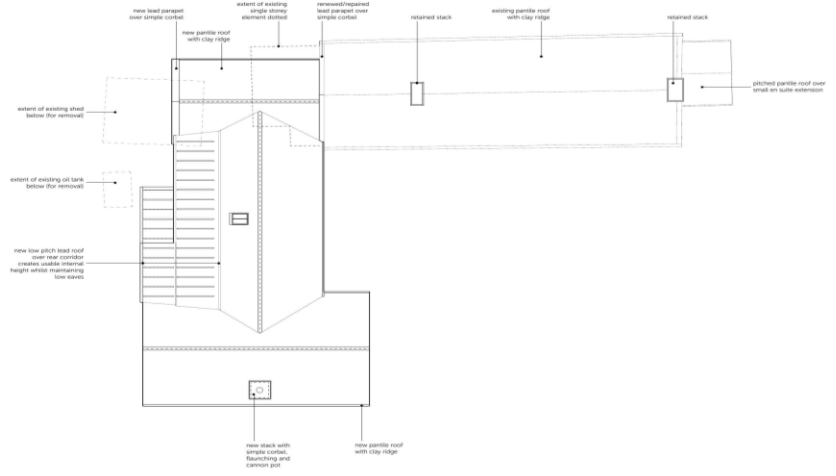
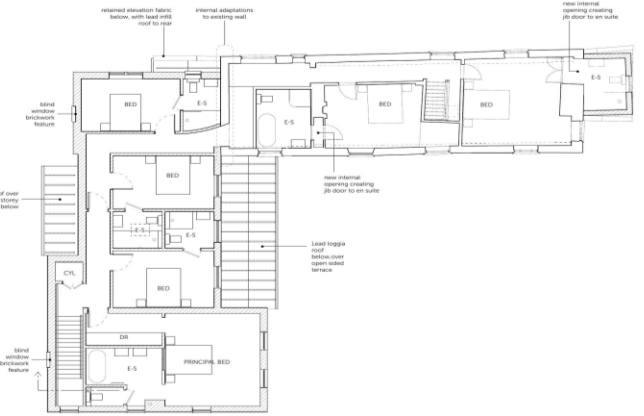


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REV	DATE	NOTES
P1	14.12.20	Issue to Client for information
P2	19.12.20	Window amendments
P3	13.01.21	Window alterations
P4	18.01.21	South shading removed
P5	05.02.21	Final window schedule principal bathroom
P6	05.02.21	Final up bottom window aligned
P7	03.06.21	Clear of section roof profile redesigned to suit lower roof to street frontage
P8	04.08.21	RE-DRAWING
P9	09.02.22	Scheme redesign for planning

DRAWN	PROJECT	DENNING, Burnham Norton Extension & Alterations	TITLE	SOUTH ELEVATION, SECTION B
CHECKED	SCALE	A1: 1:100 (B1: 1:200)	DATE	Ph 20
			NO	2028 P 111 REV P9
			COVER GRIFFITH ARCHITECTS LLP 15 HIGH STREET WHITTLIFORD CARBOROUGH CR22 4ET <a href="http://www.covergriffith.co.uk">www.covergriffith.co.uk</a>	

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REV	DATE	NOTES
REV		
P1	14.12.20	Issue for Client for information
P2	18.02.20	Minor detail and window amendments
P3	12.01.21	Window revisions
P4	13.02.21	Minor building info
P5	08.02.21	Principal bedrooms info window aligned
P6	22.08.21	Elevation heights reduced, hatch and internal marks adding
PF	04.08.21	REGISTRATION
RF	28.02.22	Submit package for planning

DRAWN	PROJECT	DENNING, Burnham Norton Extension & Alterations	TITLE	FIRST FLOOR & ROOF PLANS	
	CHECKED	SCALE @A1: 1:100 @A2: 1:200	DATE	May 20	
		NO	2028 P 101	REV	P8
cowper griffith architects 15 HIGH STREET WHITLESFORD CAMBRIDGE CB22 4T www.cowpergriffith.co.uk		COWPER GRIFFITH ARCHITECTS LLP 15 HIGH STREET WHITLESFORD CAMBRIDGE CB22 4T www.cowpergriffith.co.uk			



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Siting of proposed extension to the side elevation of Denning from Marsh Lane



Siting of proposed extension in relation to the neighbouring dwelling Lechmere



109

Siting of proposed first floor extension on the eastern elevation of Denning



Context view of Denning and Lechmere in the street scene



↑  
↑  
↑

Southern elevation of Denning



112

Wider view of southern elevation of Denning





Siting of two storey extension along the Western boundary



114

Wider view of the western boundary



15

Siting of two storey extension from within the site – showing the gap between properties



116

Siting of first floor extension to the eastern elevation

117

# Speaker Gerard Nieuwenhuys



## DENNING, BURNHAM NORTON

Comment from KL&WN Case Officer's report to Committee **in red**.  
Response **in green**.

## SUBSERVIENCE

**"The proposed two storey extension ... cannot be considered subservient to the existing dwelling"**

Streetscene: the extension adds 3.4m to the existing 21.0m

Garden: The extension 'leg' of the L-shaped proposed dwelling measures 13.2m north to south.  
The existing house 'leg' measures 18.1m including the decorative, curved parapet.

## RELATIONSHIP BETWEEN NEW WORKS AND EXISTING BUILDING

**"The extension ... would fail to respond sensitively and sympathetically to the design and appearance of the existing dwelling"**

The design and appearance of the extension is essentially the same as in the first application on north, south and east elevations. No objections or criticisms were raised, so the design remains fundamentally unaltered.

## APPROPRIATENESS OF MATERIALS

**"The use of boarding is also an alien feature in this locality"**

Lechmere's western gable end is partially boarded and fully visible on Marsh Lane.

Lechmere also has partial boarding to its south and east elevations.  
There is an amount of boarding on the extant consent to No. 5 Marsh Lane.

Trowland Cottage opposite and Denning's ancillary buildings are all boarded.  
There are many examples of boarding in Norton and 'The Burnhams'.

DENNING, BURNHAM NORTON  
Response to refused application 21/00122/F

Comment from KL&WN Conservation Officer **in red**.  
Current scheme's response **in green**.

DISTANCE TO BOUNDARY

This application is ... of concern in terms of impact upon the conservation area.  
The proposed large two storey extension still extends up to the western boundary.  
Proposals min. 2.8m, max 4.0m to shared western boundary with 'Lechmere'

IMPACT UPON WIDTH OF HOUSE

The proposed north elevation clearly shows the impact the width of the proposed extension would have on the overall width of the house  
Proposal adds 3.4m, or 16.2% to the overall length of 'Denning'. Total length 24.4m versus Lechmere at 38m+.

IMPACT UPON THE GAP BETWEEN DENNING AND LECHMERE

...but also more importantly filling 50% of the space and setting between this property and the one next door.  
The proposal reduces the gap between Denning & Lechmere from 15m to 11.6m.

CHARACTER OF THE CONSERVATION AREA

This application in itself will change the character of this section of the conservation area.  
The well argued Heritage Statement presents a cohesive and compelling argument to the contrary.

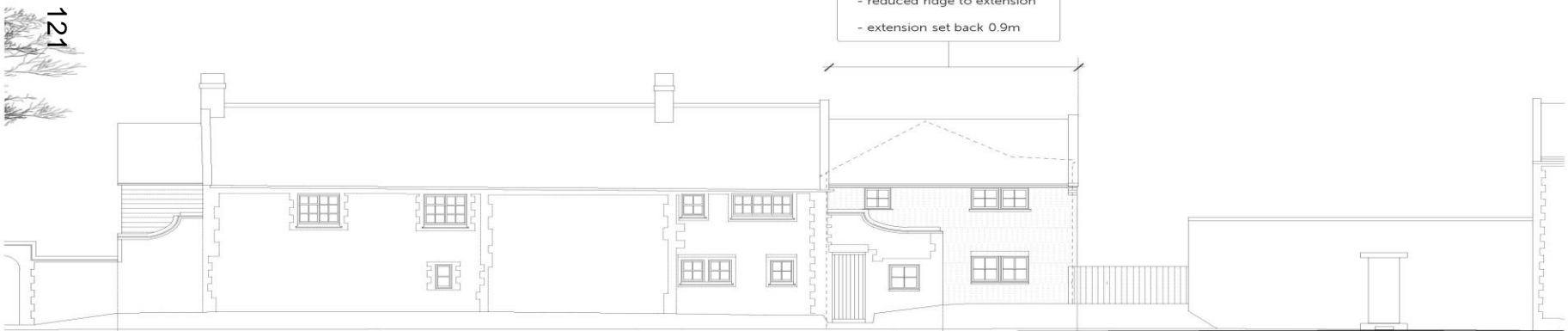
"The north elevation will still retain its character and this is the most visible elevation in the AONB"  
Gemma Clark, Norfolk Coastal Partnership (neutral comment on first application)







EXISTING CONDITION



CURRENT APPLICATION



baseline (existing)



proposed

Photomontage sheet 1 - view from Marsh Lane, facing East (outside 'Lechmere') - using 'verified view' methodology

- Only the eaves and lower roof are barely visible.
- The new works have negligible impact upon the form, density, character and materiality of this part of Marsh Lane.



taken in front of Denning's garden



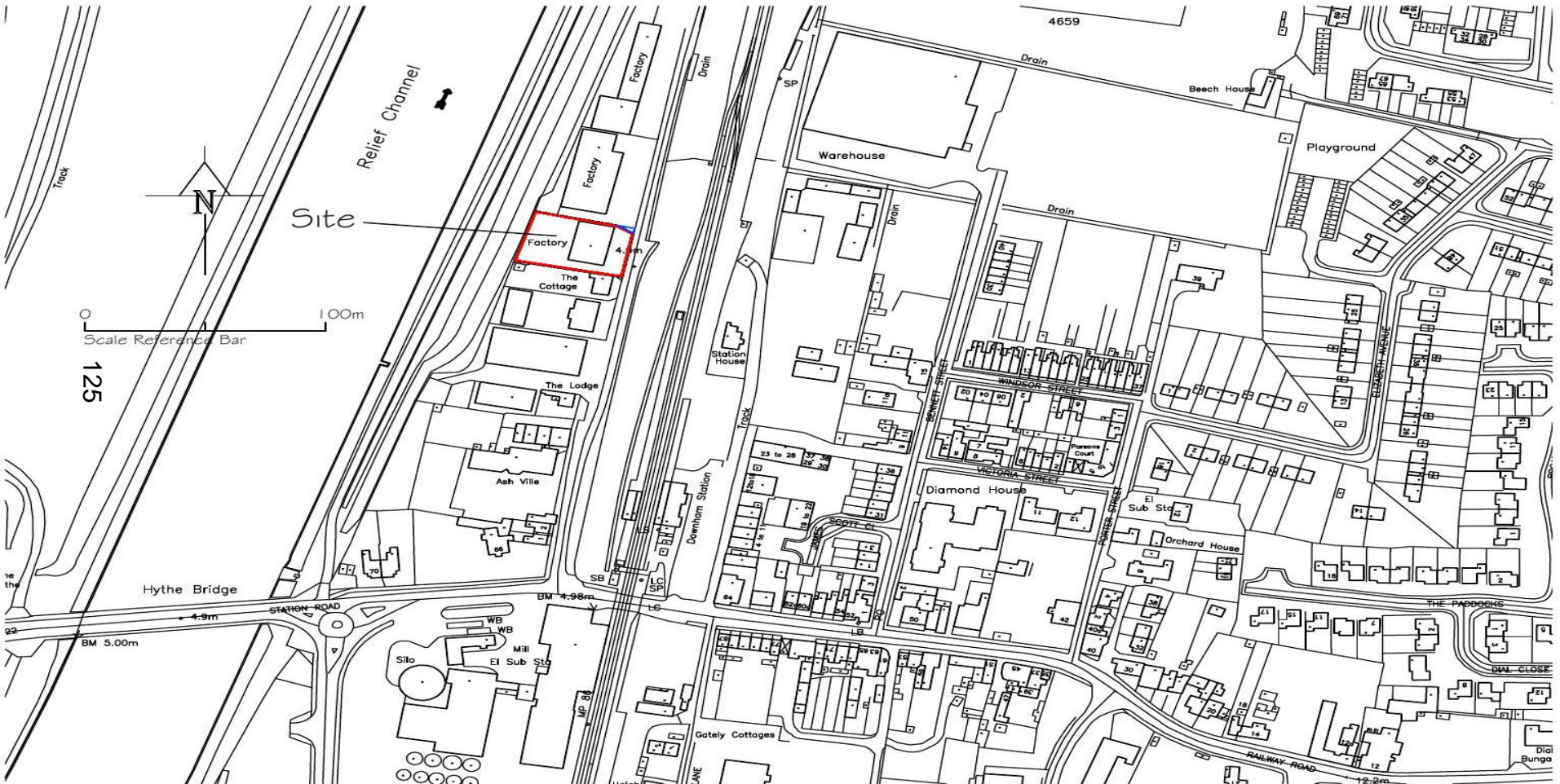
taken in front of Denning

### Photomontage sheet 2 - views from Marsh Lane, facing West

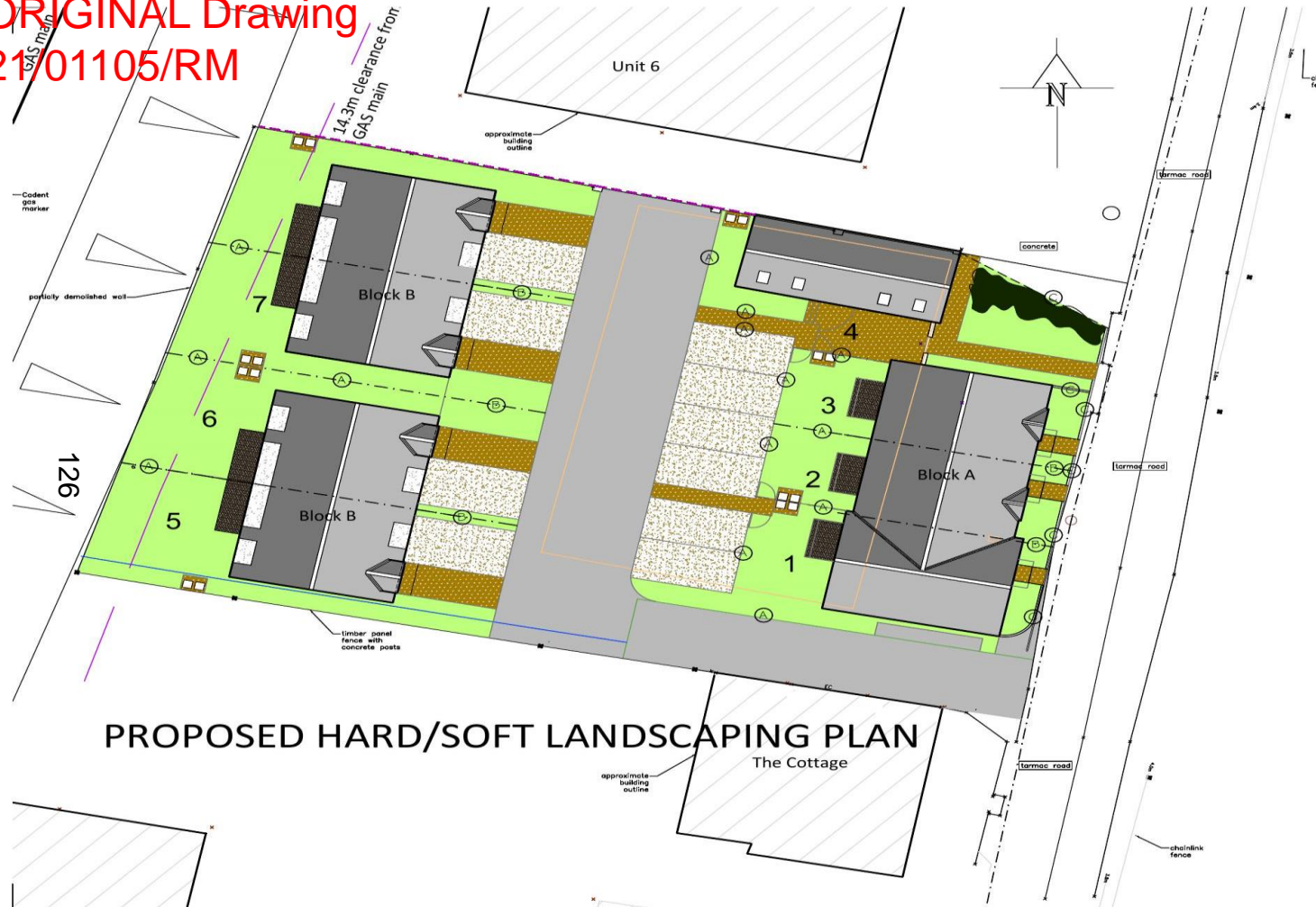
- The existing 1 - 1 1/2 storey decorative curved parapet obscures much of the extension.
- The new extension is set back from Denning, which in turn is set back from Lechmere.
- The gap continues to read clearly and significantly, emphasising the space between properties rather than any terracing effect.

22/01484/F





ORIGINAL Drawing  
21/01105/RM



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 6. Only use figured dimensions.  
 7. Any discrepancies to be brought to the Designers immediate attention.

- HARD LANDSCAPING KEY**
- (A) 1.80m high close boarded timber fence panel and slotted concrete posts
  - (B) 500mm high timber post and rail fence
  - (C) Brick garden wall
  - (D) 450x450mm buff concrete paving slabs
  - (E) 14mm washed shingle.
  - (F) Permeable tarmac
  - (G) Timber decked steps.
  - (H) 3.0m acoustic fence.

- SOFT LANDSCAPING KEY**
- (I) Seeded grass area
  - (J) Landscaped area

PRELIMINARY - SUBJECT TO PLANNING APPROVAL

REV	DESCRIPTION	DATE
A	Updated to suit Final Scheme.	15.02.22

	6 Hawthorn Close Watlington King's Lynn Norfolk PE33 0HD Tel: 01553 811564 Email: mattgosling@aol.com
--	---

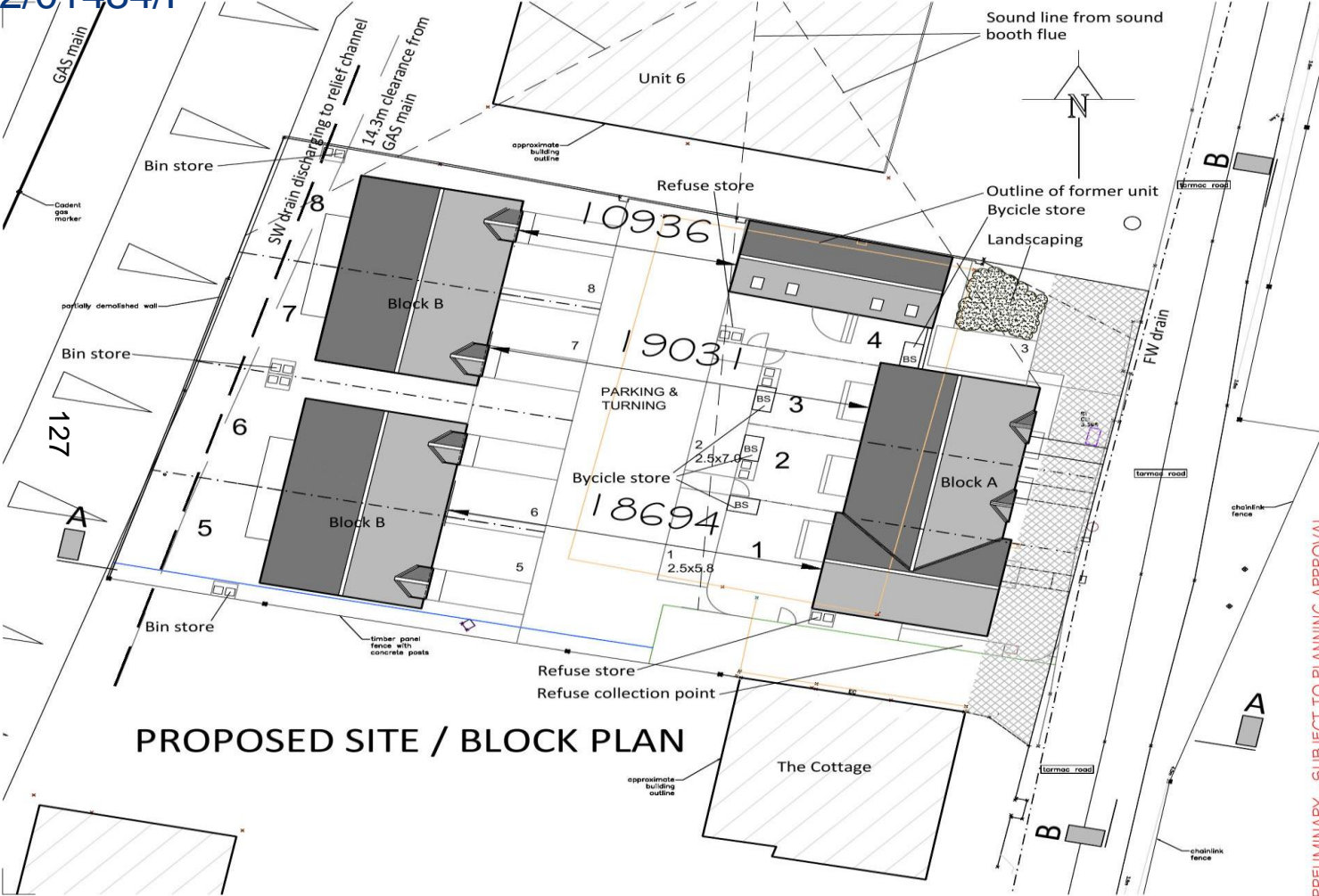
**PROPOSED HARD/SOFT LANDSCAPING PLAN**

Project Title  
DEVELOPMENT NORTH OF THE COTTAGE  
FAIRFIELD ROAD  
DOWNHAM MARKET  
NORFOLK

Drawing Title  
LANDSCAPING PLAN

Scale	Date	Drawn
1:200	May 21	MG

Drawing No:	Rev:
1008/21 - 05	A



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NEW FINISHED FLOOR LEVEL TO BE  
 PLOT 1 to 3 - 3.90m aOD  
 PLOT 4 - 3.90m aOD  
 PLOT 5 to 8 - 3.15m aOD

SITE LEVELS TO BE AS INDICATED.

DENOTES PROPOSED SITE LEVEL

FOUL SEWER TO BE CONNECTED EXISTING MAIN SEWER IN FAIRFIELD ROAD VIA EXISTING CONNECTION. SURFACE WATER TO BE CONNECTED TO SURFACE WATER DRAIN AT REAR.

REV	DESCRIPTION	DATE
A	Unit 1-3 parking amended.	14.07.22

**M DESIGN**

6 Hawthorn Close  
 Watlington  
 King's Lynn  
 Norfolk  
 PE33 0HD  
 Tel: 01553 811564  
 Email: mattgosling@aol.com

Project Title  
 DEVELOPMENT NORTH OF THE COTTAGE  
 FAIRFIELD ROAD  
 DOWNHAM MARKET  
 NORFOLK

Drawing Title  
 PROPOSED SITE/BLOCK PLAN - SK3

Scale 1:200 Date Jun 21 Drawn MG

Drawing No: 1008/21 - 09 Rev: A

PRELIMINARY - SUBJECT TO PLANNING APPROVAL

PROPOSED SITE / BLOCK PLAN



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 6. Only use figured dimensions.  
 7. Any discrepancies to be brought to the Designers immediate attention.

SCALE REFERENCE - 50mm LINE

- HARD LANDSCAPING KEY**
- (A) 1.80m high close boarded timber fence panel and slotted concrete posts
  - (B) 500mm high timber post and rail fence
  - (C) Brick garden wall
  - (D) 450x450mm buff concrete paving slabs
  - (E) 14mm washed shingle.
  - (F) Permeable tarmac
  - (G) Timber decked steps.
  - (H) 3.0m acoustic fence.

- SOFT LANDSCAPING KEY**
- (I) Seeded grass area
  - (J) Landscaped area

B	Updated to suit new layout.	02.08.22
A	Updated to suit Final Scheme.	15.02.22
REV	DESCRIPTION	DATE

**MG DESIGN**

6 Hawthorn Close  
 Watlington  
 King's Lynn  
 Norfolk  
 PE33 0HD  
 Tel: 01553 811564  
 Email: mattgosling@aol.com

Project Title  
 DEVELOPMENT NORTH OF THE COTTAGE  
 FAIRFIELD ROAD  
 DOWNHAM MARKET  
 NORFOLK

Drawing Title  
 LANDSCAPING PLAN

Scale	Date	Drawn
1:200	May 21	MG

Drawing No:	Rev:
1008/21 - 05	B

PRELIMINARY - SUBJECT TO PLANNING APPROVAL

**PROPOSED HARD/SOFT LANDSCAPING PLAN**

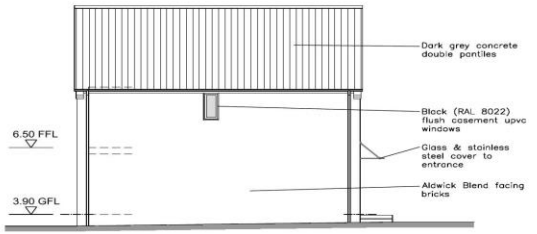


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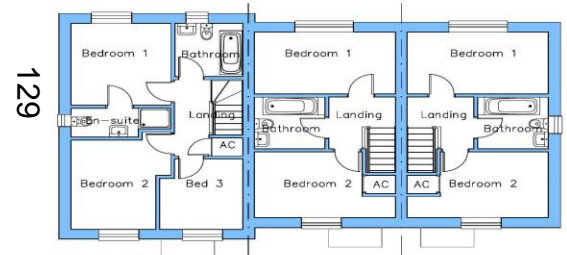
SCALE REFERENCE - 50mm LINE



Front East Elevation



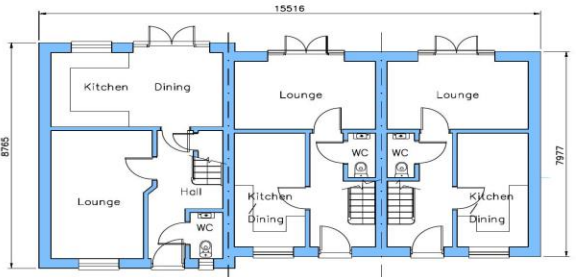
Side South Elevation



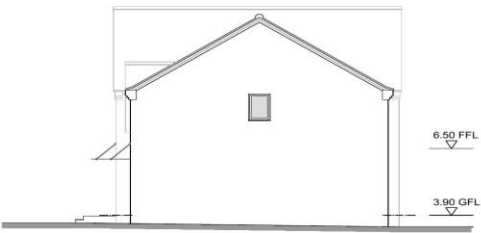
First Floor



Rear West Elevation



Ground Floor



Side North Elevation

PRELIMINARY - SUBJECT TO PLANNING APPROVAL

B	Unit 4 removed.	13.02.22
A	Unit 4 amended to a 2 bed unit.	20.10.21
REV	DESCRIPTION	DATE

**MCG DESIGN**

6 Hawthorn Close  
 Wotton  
 King's Lynn  
 Norfolk  
 PE33 0HD  
 Tel: 01553 811564  
 Email: mat@gosling@aol.com

Project Title  
 DEVELOPMENT NORTH OF THE COTTAGE  
 FAIRFIELD ROAD  
 DOWNHAM MARKET  
 NORFOLK

Drawing Title  
 PLOTS 1 to 3 - FLOOR PLANS & ELEVATIONS

Scale 1:100 Date Apr 21 Drawn MG

Drawing No: 1008/21 - 02 Rev: B

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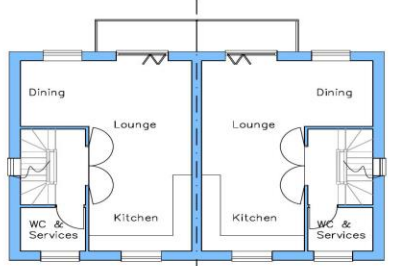


Front East Elevation



Side South Elevation

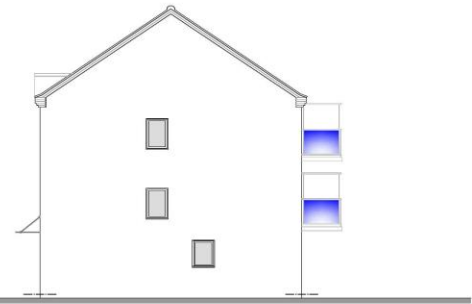
130



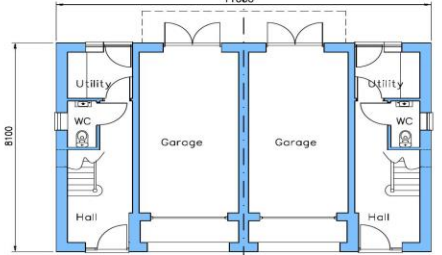
First Floor



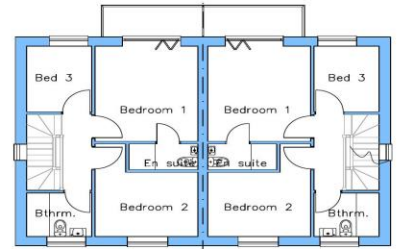
Rear West Elevation



Side North Elevation



Ground Floor



Second Floor

PRELIMINARY - SUBJECT TO PLANNING APPROVAL

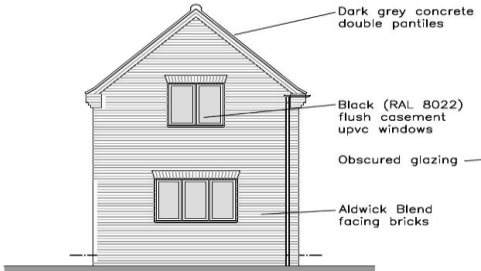
REV	DESCRIPTION	DATE

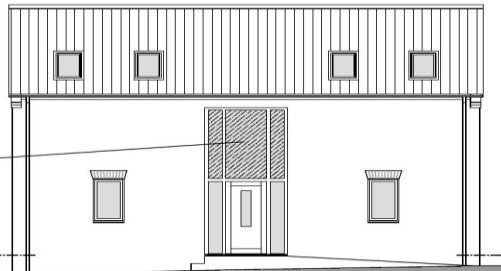
	6 Hawthorn Close Wattlington King's Lynn Norfolk PE33 0HD Tel: 01553 811564 Email: matgosing@aol.com	
	Project Title DEVELOPMENT EAST OF THE CHALET PRIORITY CHASE DOWNHAM MARKET NORFOLK	
	Drawing Title PLOTS 5 to 8 - FLOOR PLANS & ELEVATIONS	
	Scale 1:100	Date Apr 21
Drawing No: 1008/21 - 03	Rev:	

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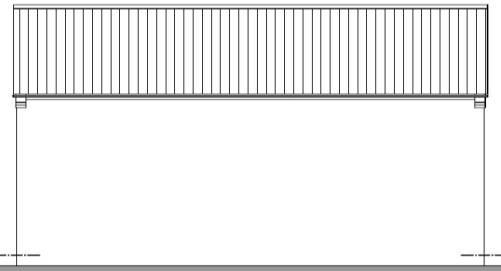
0 | SCALE REFERENCE - 50mm LINE | 50mm



Front East Elevation

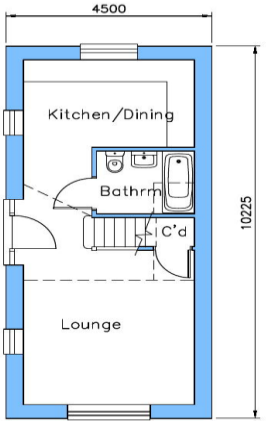


Side South Elevation

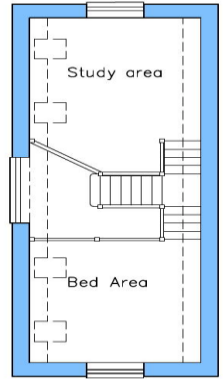


Side North Elevation

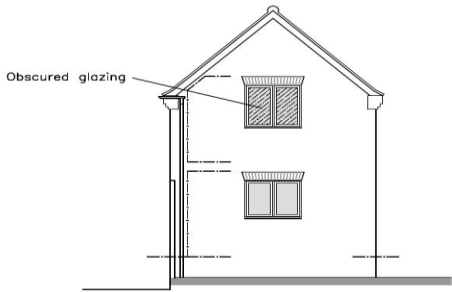
131



Ground Floor



First Floor



Rear West Elevation

PRELIMINARY - SUBJECT TO PLANNING APPROVAL

REV	DESCRIPTION	DATE

**M DESIGN** 6 Hawthorn Close  
 Watlington  
 King's Lynn  
 Norfolk  
 PE33 0HD  
 Tel: 01553 811564  
 Email: mattgosling@aol.com

Project Title  
 DEVELOPMENT NORTH OF THE COTTAGE  
 FAIRFIELD ROAD  
 DOWNHAM MARKET  
 NORFOLK

Drawing Title  
 PLOT 4 - FLOOR PLANS & ELEVATIONS

Scale	Date	Drawn
1:100	Feb 22	MG

Drawing No:	Rev:
1008/21 - 07	





133

Application site



134

**USE SAFETY NOTICE**  
Do not enter gate to site and  
do not enter premises  
No entry to site  
Safety Animals must be worn  
Alternative measures must be worn

Application site



View looking north to application site

135



View looking north along Fairfield Road





137

View looking south along Fairfield Road

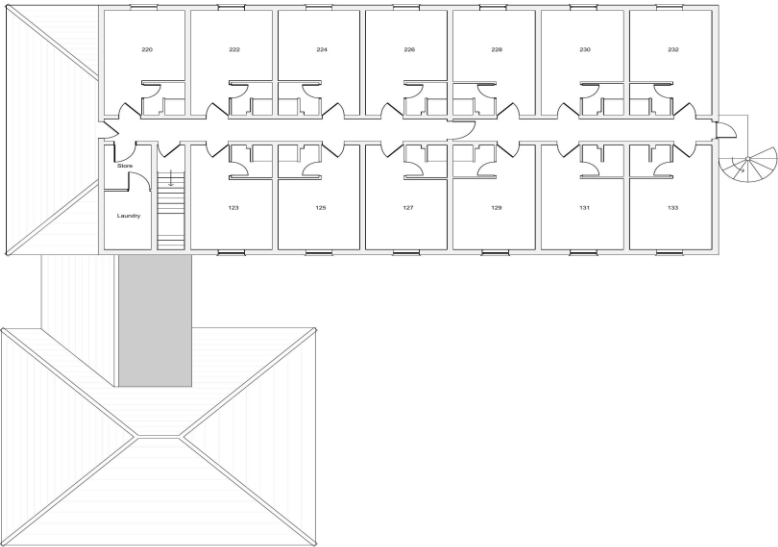
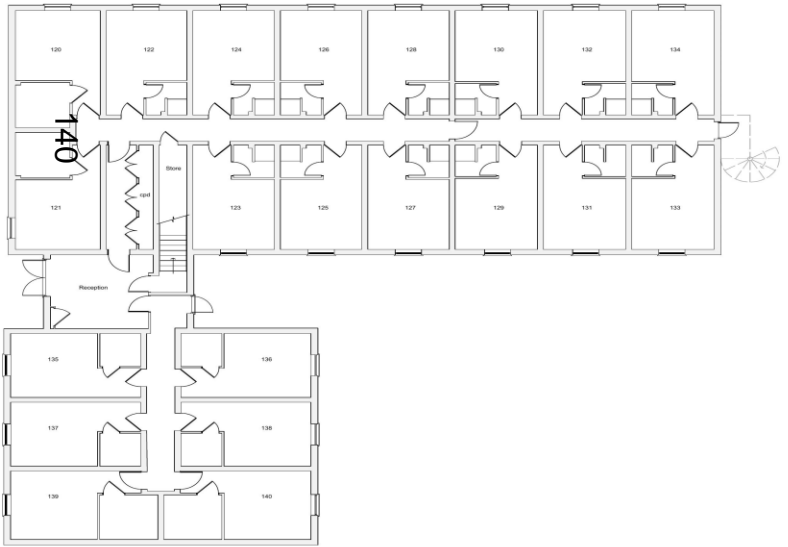
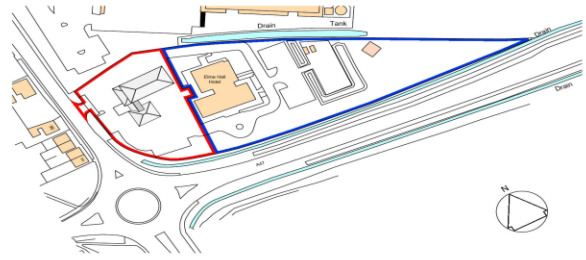
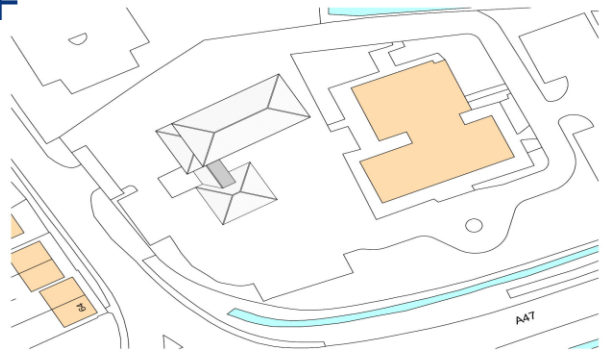


View opposite application site

139

22/01014/F





**PRELIMINARY**

DRAWING REVISIONS

NO.	REVISION

**INSPIRE ARCHITECTURAL**

WOODGATE HOUSE, HOLLYCROFT ROAD, EWMETH  
 01945 351442 07920 796449  
 inspirearchitectural@gmail.com

PROJECT  
 Proposed Change of Use

Elme Hall Lodge  
 Elme Hall Hotel  
 Wisbech

DRAWING TITLE  
 Existing Floor Plans,  
 Site Plan and Location Plan

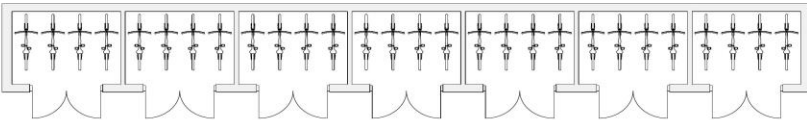
SCALE as stated on A1

DATE JULY 2021

DRAWN STB

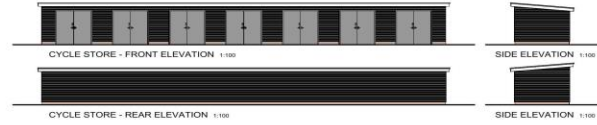
DRAWING NO

224 - 01 A



CYCLE STORE - FLOOR PLAN 1:50

TIMBER CLAD MASONRY WALLS  
SOLID DOORS WITH KEY CODE LOCKS  
FIBREGLASS ROOF

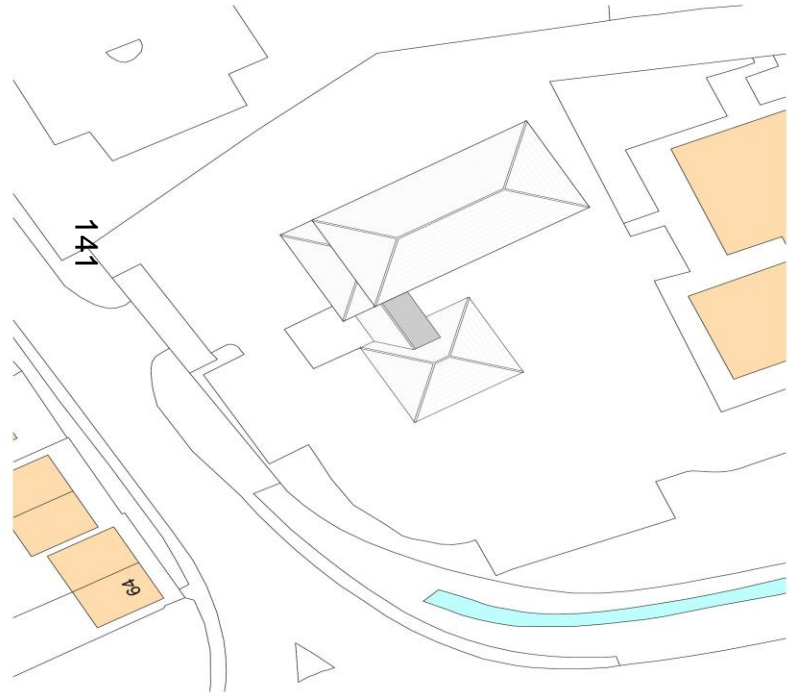


CYCLE STORE - FRONT ELEVATION 1:100

CYCLE STORE - REAR ELEVATION 1:100

SIDE ELEVATION 1:100

SIDE ELEVATION 1:100



EXISTING SITE PLAN 1:250



PROPOSED SITE PLAN 1:250

- SECURE CYCLE STORAGE
- BIN STORAGE COMPARTMENT

NOTE: SITE LEVELS TO REMAIN UNCHANGED AND UNAFFECTED



**PRELIMINARY**

DRAWING REVISIONS	
B	21.04.22 CYCLE STORE ELEVATIONS ADDED TO PLAN
C	22.04.22 CYCLE STORE PLAN ADDED TO PLAN

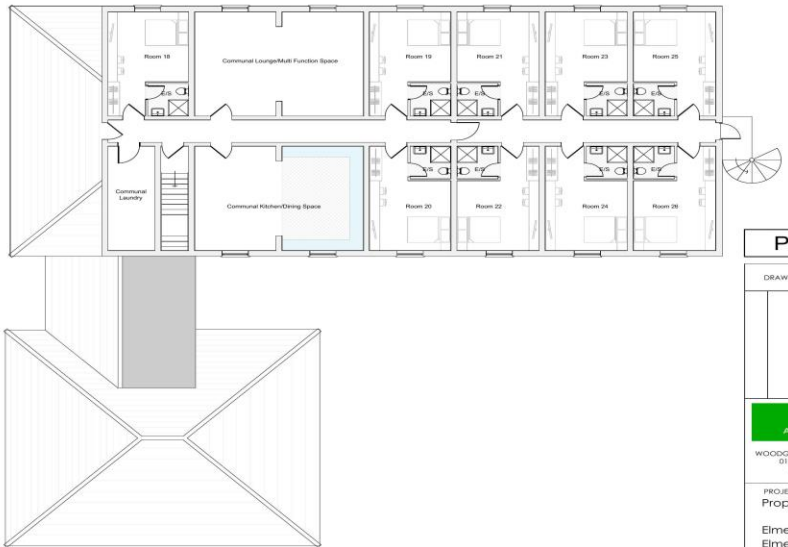
**INSPIRE ARCHITECTURAL**

WOODGATE HOUSE, HOLLYCROFT ROAD, EVANETH  
01945 351442 07920 796449  
inspirearchitectural@gmail.com

PROJECT  
Proposed Change of Use  
Elme Hall Lodge  
Elme Hall Hotel  
Wisbech

DRAWING TITLE  
Existing and Proposed Site Plans

SCALE	as stated at A1
DATE	JULY 2021
DRAWN	STB
DRAWING NO	224 - 03 C



**PRELIMINARY**

DRAWING REVISIONS


**INSPIRE ARCHITECTURAL**

WOODGATE HOUSE, HOLLYCROFT ROAD, BANBETH  
01945 351442 07920 795449  
inspirearchitectural@gmail.com

PROJECT  
Proposed Change of Use

Elme Hall Lodge  
Elme Hall Hotel  
Wisbech

DRAWING TITLE  
Proposed Floor Plans

SCALE as stated at A1

DATE JULY 2021

DRAWN STB

DRAWING NO. 224 - 02 C



Application site (looking north)



Application site (looking north)





145

DISABLED PARKING

Hotel to east of application site

146

Application site (looking northwest)







148

Looking along southwestern boundary of the site

22/00982/F







NOTES  
BEFORE WORK BEGINS  
Contractors must verify all dimensions on site before commencing work on site. Any discrepancies must be reported before works are undertaken or materials are ordered.



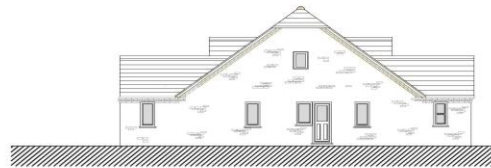
Rear Elevation  
scale 1:100



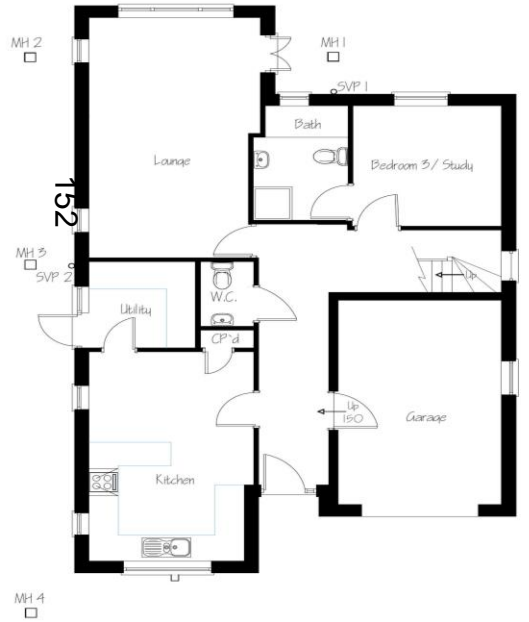
Front Elevation  
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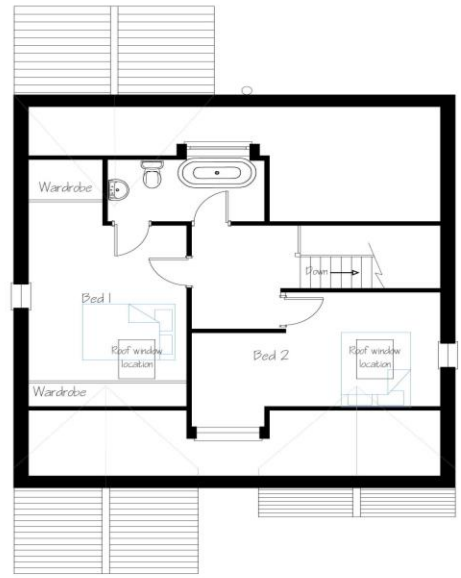
R/H Elevation  
scale 1:100



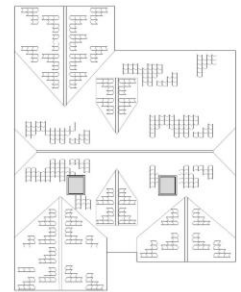
L/H Elevation  
scale 1:100



Ground floor layout  
scale 1:50



First floor layout  
scale 1:50



Roof layout  
scale 1:50



Section  
scale 1:100

41 Ringstead Road  
Hocham  
Norfolk  
PE31 7JA

Telephone: 07724 639615  
Final Approval: Yes/no Date: / /  
Office Checked: Yes/no Date: / /



REV	DATE	BY	APPROVED

Client  
Mr G King  
18 James Jackson Road  
Dorset

Drawing Title  
PROPOSED PLANS AND ELEVATIONS

Drawn by: SWW Date: 19.05.2022  
 Job Number: Drawing No: 1901  
 EPR022 - 14 1 As Shown

All dimensions are in millimetres. All dimensions to be checked on site.  
 Floor Slabs at 1.1m from ground level.  
 Grid: 10 20 30 40 50 60 70 80 90





Looking south into site



Looking from Coaly Lane towards access with Lynn Road



Existing bungalow to East



155

**CONTAINER STORAGE**  
SELF STORAGE CONTAINER HIRE  
WEBS A STORAGE SOLUTIONS?  
**CALL FOR A PRICE**  
07748 904 417

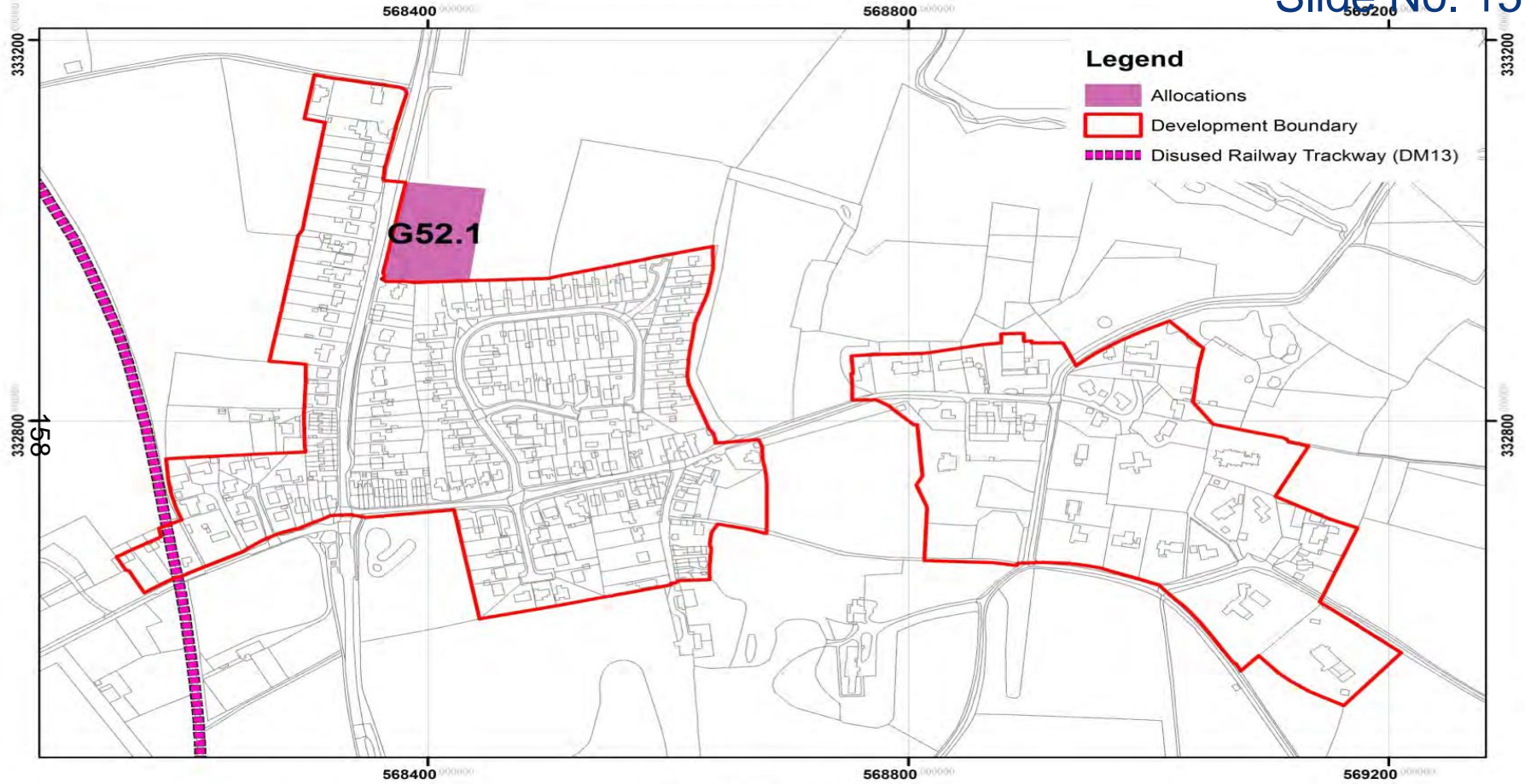
**CONTAINER STORAGE**  
SELF STORAGE CONTAINER HIRE  
WEBS A STORAGE SOLUTIONS?  
**CALL FOR A PRICE**  
07748 904 417

Storage use to West

157

# Speaker Samantha Anthony



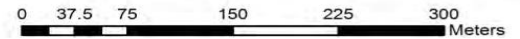


**Legend**

- Allocations
- Development Boundary
- Disused Railway Trackway (DM13)

**G52.1**

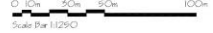
**Inset G52 Ingoldisthorpe**



159

22/01496/O





PROPOSED NEW RESIDENTIAL DEVELOPMENT LAND ADJACENT TO ROSEVILLE CHALK ROAD, WALPOLE ST. PETER



NOTE: An additional better tree to be planted across the site in accordance with the arboricultural report prepared for the site.



Existing private drainage location with access to the rear of the site to be retained

NOTE: These drawings are for 'Outline All Matters Regional' planning application purposes and therefore the proposals indicated are indicative only.



GENERAL PROJECT NOTES:

- All materials & products specified are to be installed in complete accordance with manufacturers details, full instructions & recommendations.
- All works carried out are to comply with current British Standards, Codes of Practice, Agreement Certificates & current building regulations.
- Alternative materials to those specified may be used by the contractor however it is the responsibility of the contractor to ensure that the replacement materials comply with current British Standards, building regulations and are suitable for the proposed use.
- Any conflicting information is to be confirmed prior to commencement of the works, no responsibility can be accepted for dimensions scaled from drawings and the building contractors are expected to check all dimensions and details prior to commencement of the works on site.
- No responsibility can be taken for any works commenced on site prior to the approval of the both planning and building regulations being granted. Any works therefore carried out are undertaken entirely at the contractors / clients risk.
- Any elements within an existing structure which will be subject to additional loading by the proposals are to be checked for suitability prior to commencement of the works.
- All works adjacent to a site boundary or within 3m of a party wall must not be commenced without the neighbour being informed in writing a the relevant permissions obtained under the Party Wall act 1999.
- The main contractor is responsible for the design, installation and maintenance of any temporary works deemed necessary to ensure the stability of the existing structure throughout the duration the works.
- No variation to the design indicated on the project drawings are to be carried out without written approval from distinct DESIGNS UK Ltd and approval from the relevant planning authority and building regulations approval were applicable.
- Any existing underground drainage shown or implied is assumed and must be verified by testing and careful site excavation by the contractor before works commence.

dd  
DESIGNING  
DRAWINGS

PROPOSED NEW RESIDENTIAL DEVELOPMENT  
LAND ADJACENT TO CHALK ROAD, WALPOLE ST. PETER  
THE MAIN CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS  
FOR THE PROPOSED DEVELOPMENT.

DESIGNED BY: DESIGNS UK LTD  
DRAWN BY: DESIGNS UK LTD  
CHECKED BY: DESIGNS UK LTD  
DATE: 21/03/23

SCALE: 1:1000 A

PROJ: 22/01496/O

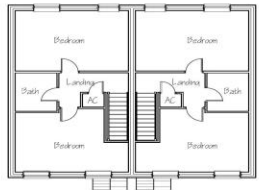
21/03/23



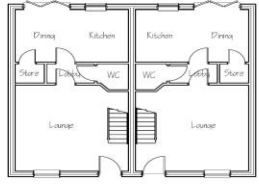
TWO BEDROOM DWELLING  
(Plate 1 & 2)



PRELIMINARY FRONT ELEVATION



PRELIMINARY FIRST FLOOR PLAN



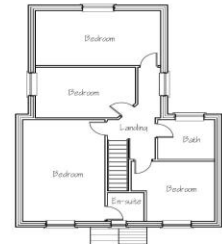
PRELIMINARY GROUND FLOOR PLAN

**NOTE:**  
These drawings are for 'Outline All Matters Reserved' planning application purposes and therefore the proposals indicated are indicative only.

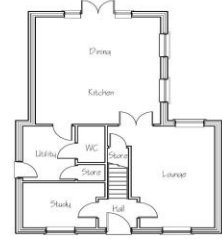
FOUR BEDROOM DWELLING  
(Plate 3,4 & 5)



PRELIMINARY FRONT ELEVATION



PRELIMINARY FIRST FLOOR PLAN

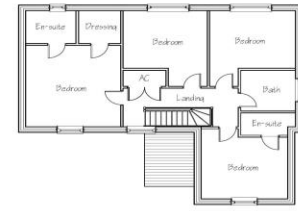


PRELIMINARY GROUND FLOOR PLAN

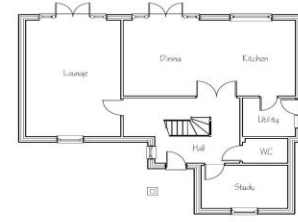
FOUR BEDROOM DWELLING  
(Plate 6 & 7)



PRELIMINARY FRONT ELEVATION



PRELIMINARY FIRST FLOOR PLAN



PRELIMINARY GROUND FLOOR PLAN

SINGLE GARAGE  
(Plate 5, 4, 3, 6 & 7)



PRELIMINARY FRONT ELEVATION



PRELIMINARY GROUND FLOOR PLAN

**NOTE:**  
These drawings are for 'Outline All Matters Reserved' planning application purposes and therefore the proposals indicated are indicative only.



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Kirkfield Farm to the north of the site



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Northern end of the site

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View northwards from midway along site frontage on Chalk Road



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View southwards from midway along site frontage on Chalk Road



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View southwards further along Chalk Road frontage



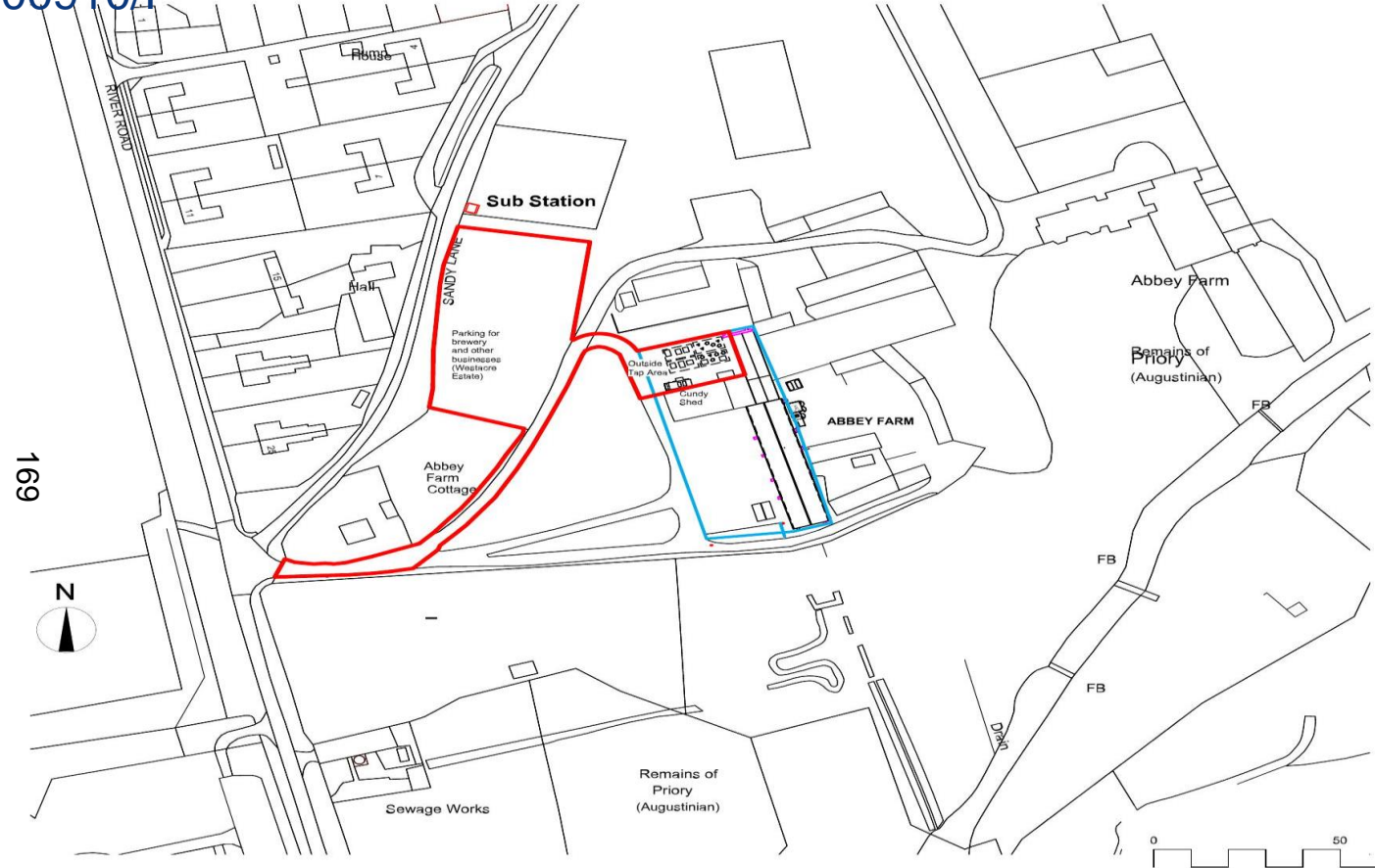
167

Roseville to south of the site

22/00910/F

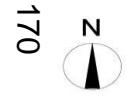






Revision A: Feb 2022. Location of tap area added  
 Revision B: Mar 2022. Containers Removed. Tap area amended  
 Revision C: Mar 2022. Tap area amended  
 Revision D: Apr 2022. Parking area indicated  
 Revision E: May 2022. Blue line amended

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- Revision A: Feb 2022. Location of tap area and containers added
- Revision B: Mar 2022. Containers Removed. Tap area amended
- Revision C: Apr 2022. Tap area amended
- Revision D: Apr 2022. Disabled space and parking indicated
- Revision E: Apr 2022. Blue line amended
- Revision F: Apr 2022. Tap area indicated in green



**RB RUTH BRENNAN ARCHITECTURE**

**Job: Title: Block Plan Scale: 1:200 @ A3**  
**Client: Duration Brewing, Westacre**  
**Date: July 2021 No 107F Block Plan**

12 School Lane, Little Melton, Norwich NR9 3NL. Tel: 01603 810003 Mob: 07551 686643 Email: [info@ruthbrennanarchitecture.co.uk](mailto:info@ruthbrennanarchitecture.co.uk)

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**PLANNING**

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Access to the site from River Road

11 07 2022



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Tap Days location

Access track within the site towards the Tap Days location



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Tap Days area



Facing south towards the Cundey Shed and access from the edge of the Tap Days area



11 07 2022

View south-west towards the access within the site

Tap Days location



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11 07 2022

View north of the grassed area used for parking





11 07 2022

Western boundary of the site showing neighbouring properties along River Road

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# Speaker Miranda Hudson



# DURATION

WEST ACRE BREWING NORFOLK



@durationbeer





- Duration family-run local business
- 9 full-time employees plus casuals
- £280k in LEADER and local government funding
- 18 awards in first 3 years
- Ranked in top 10 new breweries worldwide in 2020
- Strong local support with permanent lines in 11 local pubs & restaurants
- Modest plans for a 120 cover seasonally open taproom



@durationbeer





*"This is a great asset to Westacre. repurposing a derelict historic barn and bringing not only locals but many others to the area. The team on site are great, knowledgeable and will always go the extra mile to make the visit enjoyable and memorable. The brewery also employs local people enabling them to advise on visitor's questions on what else this great county can offer a visitor".*



*"As someone who spent considerable amounts of time during my childhood in West Acre its fantastic to see Abbey Farm busy again. It's really clear that Duration cares about the community and is keen to involve them in decision making at a local level".*





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## Application Consideration

- Last year taproom had 118 seats outside and 44 seats inside
- This application has 76 outside seats and 44 seats inside
- Capped to 150 vehicle movements a day limited to 4 days a week trading (less in winter) and only until 6pm on Sundays.
- Duration is seeking permission to formalise an arrangement established in 2021 at a smaller scale
- Temporary planning could support feasibility for phase 2 replacement with dedicated taproom and retail area with more inside space
- Small retail element always intended on site. No options available for inside space currently.



@durationbeer





# FOR THE DURATION



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## How we have calculated our requirements

### SUMMER BUSIEST DAYS:

• 11.30am	4 staff and 1 caterer	5 cars
• 12-2pm	120 visitors	40 cars
• 2-4pm	90 visitors	30 cars
• 4-6pm	30 visitors	10 cars
• 6-8pm	60 visitors	20 cars
• All Day	Brewery traffic	8 cars + 30 movements

Total Day            300 Visitors            113 cars 143 movements

### WINTER BUSIEST DAYS:

• 11.30am	1-2 staff and 0-1 caterer	3 cars
• 12-2pm	30 visitors	10 cars
• 2-4pm	30 visitors	10 cars
• 4-6pm	closed	0 cars
• 6-8pm	closed	0 cars
• All Day	Brewery traffic	8 cars + 30 movements

Total Day            60 Visitors            31 cars 61 movements

"I believe it is very important for historic buildings to find a use in the modern world. I was delighted to work with a visionary new business and two young people who are not only committed and talented, but brave and fun to work with".

"I have very much enjoyed the appreciation they have shown for the efforts it has taken for the team to bring the project to its completion".

**Ruth Brennan - Historic Architect and Director at Ruth Brennan Architects**



@durationbeer



# FOR THE DURATION



51k
 7.2k  
 13.8k
 4.1k

BEERS THAT BELONG

## 4.9



GOOGLE REVIEWS

“ Visited the taproom yesterday (finally, been waiting since 2020!!) and wasn't disappointed - lovely dog friendly vibes, welcoming staff and regulars and of course amazing beers. The flights are super reasonably priced and when we visited there was a van set up outside serving brilliant toastsies.

I tried each of the core range and Turtles All The Way Down was excellent (as always) straight from the tank. Also picked up a couple of the bottles from their recent Deya collab (I tried the saison and the wit) and both were amazing.

Highly recommended for anybody visiting Norfolk that likes their beer - we drove over from Wells-Next-The-Sea which took about 30mins.



JOE WILDE

“ Just wow, for the beer, the brewery and the whole experience of the tour. We were on a tour with one of the owners. Parking is easy with a fair few spaces. There is also an outdoor space for you to enjoy your beer. In addition there is a merch store (although clothing might not be of the best quality) it is still cool to support them.



AEOLUS MELTEM

“ State of the art brewery hidden in the village between Norwich and Cambridge... Not only worth a detour from A11 but also a day out at a brewery and the area.

I've tried every single beer available in September 2020 and couldn't find a bad one, but quite a few were simply outstanding and all of a top quality!



BART KAJOR

# END OF PRESENTATION

